

**Stephanie E. Cummings**  
Partner  
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50 Leavenworth Street  
P.O. Box 1110  
Waterbury, CT 06702

March 3, 2026

**VIA ELECTRONIC DELIVERY**

Town of Watertown  
Planning and Zoning Commission

**RE: 110 Woodbury Road, Watertown, Connecticut (the "Property")  
Petition for Waiver Pursuant to Ordinance 36-4(e)**

Our firm represents the owner (the "Applicant") of the Property. As you know, the Applicant has simultaneously submitted a Site Plan Approval/Special Permit application for the purpose of building two new dormitories on the Property. In connection therewith, the Applicant hereby petitions the Town of Watertown's (the "Town") Planning and Zoning Commission (the "Commission") to exercise its authority under Town Ordinance 36-4 (the "Ordinance") for a reduction in its Site Plan and Special Permit application fees from \$139,870 to no greater than \$35,000. The Applicant has separately paid its Conservation Commission review fees and its regulation amendment review fee. The Applicant will also be responsible for payment of any and all building permit fees.

**I. The Ordinance**

The Town's Ordinance sets the filing fees associated with all land use submissions, which are collected for the stated purpose of, in relevant part, offsetting the expense of the Town's review, evaluation and processing of land use applications, including the costs for publication of legal notices and decisions, the preparation of meeting minutes, staff hourly wages, and overhead.

The Ordinance also provides for a method by which applicants may petition the Commission for reduction of application fees in situations where the "amount of the application fee is clearly excessive in relation to the cost to the town for reviewing and processing the application." This authority to reduce exorbitant fees is consistent with applicable law prohibiting the use of municipal fees to generate revenue, i.e. taxation. Put simply, an application fee cannot be a tax in disguise.

The fee schedule incorporated into the Ordinance provides the specific fees imposed for various land use applications. Here, the relevant fees are the fee for site plan review, special permits or special exceptions, legal fees, and third-party reviews and appraisals approved by the Commission. Importantly, legal fees and third-party review fees are paid directly by an applicant to the appropriate third-party and should not be included in determining if an application fee is excessive.

Notably, site plan review fees for non-residential uses are based on "value," a term that is not defined in either the Town's Zoning Regulations or the Ordinance. The Town has advised that "value" is intended to mean the estimated construction cost. Under the Ordinance, site plan review fees range from \$500 for a "value less than \$100,000" to "\$1,000 plus \$200 for each \$100,000 value" for values of more than \$500,000.

## **II. Application**

Here, the Applicant would be required to pay a site plan review fee of \$137,620, a special permit fee in the amount of \$2,250, and the State of Connecticut fee in the amount of \$60.00. Based on the below, such fees are in excess of what is necessary to offset municipal costs associated with the application, and, if required, would be in contravention to Connecticut law.

### **A. Past Practice**

The Commission has previously utilized its authority to reduce application fees, recognizing that the established fee structure resulted in a fee that would be considerably more than the associated expenses borne by the Town. In that situation, the Applicant's filing fee was reduced from \$35,500 to \$7,500. Here, the "value" of the current project is roughly four and one-half times (4.5x) the value of the prior project. The payment of \$35,000 is slightly more than 4.5x the \$7,500 fee, demonstrating consistency with regard to the reduction.

### **B. Estimated Costs Incurred**

The vast majority of the expenses expected to be incurred by the Town are related to staff salaries and wages. Other expenses, such as legal notice publication costs, are expected to be nominal. For example, similar legal notices published in the Republican American by the undersigned required payment of \$133.00 per publication. Here, we reasonably anticipate that there would be two legal notice publications, resulting in a fee of approximately \$266.00.

The Ordinance also permits fees to offset the cost of the recording and preparation of Commission meeting minutes directly related to a land use application. A review of the Town's adopted 2025-2026 budget shows that no monies were budgeted for a land use minutes' clerk. A review of prior year's budgetary allocations indicates that the Town planned to spend approximately \$200 per meeting for the preparation of minutes. As that \$200 figure includes preparation of minutes for the entire meeting, it is reasonable that the proportional fee would be far less than \$200 per meeting. Even presuming that half of each meeting was solely dedicated to the subject application, the total cost borne by the Town per meeting would be approximately \$100. Here, we anticipate the Commission will hold three meetings, resulting in a fee of approximately \$300.

The remainder of any application fee would be primarily used to offset municipal employees' salary and wages. Based on the adopted 2025-2026 budget, the total salary to be paid for both the Zoning Enforcement Officer ("ZEO") and the Assistant Zoning Officer ("AZEO") is \$176,536. Here, even taking into account the nominal costs for publication and the preparation of the meeting minutes (which, as noted, is likely to be no more than \$600), the calculated \$139,870 fee, if collected, would underwrite nearly the entire yearly salaries of both the ZEO and AZEO. Certainly, the ZEO and AZEO will be responsible for conducting far more work on behalf of the Town than just the subject application and the costs associated with such other work cannot be shifted to the Applicant.

### **C. Comparators**

Other local municipalities have fee structures that would result in a significantly lower fee, even though the work undertaken by such other municipalities to review, evaluate, and process the application would be substantially the same as the work undertaken by the Town. By way of example, the same project in Cheshire would result in a total application fee of approximately \$4,800. The same site plan in Middlebury

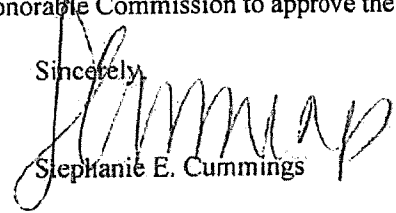
would result in a site plan fee of approximately \$6,750. The City of Waterbury requires a flat fee of \$600 for commission action.

**III. Conclusion**

Based on the totality of the above, a reduced application fee in an amount of no more than \$35,000 is sufficient to offset the Town's costs in reviewing, evaluating, and processing the subject application. As noted above, the costs borne by the Town are anticipated to be \$600 or less, leaving \$34,400 to offset wages of Town employees incurred in the application's review, evaluation, and processing. Additionally, any third-party cost, such as for a third-party review, would be independently paid by the Applicant, reducing any risk that such third-party reviews would dilute the benefit of the application fee.

Thus, a reduced fee is justified and appropriate and we ask this Honorable Commission to approve the same.

Sincerely,



Stephanie E. Cummings



## Town of Watertown Connecticut

Planning and Zoning, Zoning Board of Appeals,  
Conservation Commission/Inland Wetland Agency

**Watertown Municipal Center**

61 Echo Lake Road

Watertown, CT 06795

Telephone: (860) 945-5266

Website: [www.watertownct.org](http://www.watertownct.org)

### SITE PLAN APPROVAL (SA) / SPECIAL PERMIT (SP)

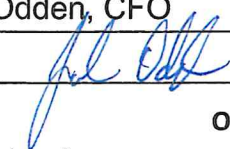
#### Applicant Information

Name: The Taft School Corporation

Address: 110 Woodbury Road, Watertown CT 06795-2100

Email: jodden@taftschoo.org Phone #: (860) 945-7760

Print Name: Jake Odden, CFO

Signature of Applicant:  Date: \_\_\_\_\_

#### Owner Information

Name: The Taft School

Address: 110 Woodbury Road, Watertown, CT 06795-2100

Email: jodden@taftschoo.org Phone #: (860) 945-7760

Print Name: Jake Odden, CFO

Signature of Owner:  Date: \_\_\_\_\_

#### Location of Property:

Address: 110 Woodbury Road, Watertown, CT 06795

Zone R-20/R10/R30 Non-conforming? Yes  No  Map 108A Block 60 Lot 1

#### Description of Existing Use/ Property

Type Of Use Private Educational Facility

Size of Property: 165 ac

Number of Buildings/ Sq Ft approximately: 20 (footprints @ 312,771) approx. 858,567 gsf ex. total

Number of parking spaces: 255 existing spaces. 266 proposed (net +11)

Other important features: \_\_\_\_\_

Signage (# of signs & square feet) provide a cut sheet or sketch: No existing signage is being modified.

**Description of Proposed Use**

Uses: Addition of 2 new student dormitory structures.  
Number of Buildings/ Sq Ft approximately: 2 new buildings (10,545 sf footprint ea; 45,258 sf total ea.)  
Number of parking spaces: Net 11 additional parking spaces for a total of 266 on campus.  
Signage (# of signs & square feet) provide a cut sheet: No new signage is proposed.

Number of Employees 5 new employees are estimated to result from this project.

**Professional Engineer/ Surveyor**

Name: Land Resource Consultants Engineering & Surveying, LLC  
Address: 160 West Street, Suite E  
Cromwell, CT 06416      Attn: Henry Thomas, Principal LA  
Email: hthomas@lrconsult.com  
Phone: 860-635-2877 x215

**Fees**

**An additional \$60 State fee must be added to all application costs per Public Act 92-235 Section (4) enacted by the Connecticut State Legislature.**

<input type="radio"/> Residential	\$250
<input checked="" type="radio"/> Multi-family dwellings or Non- residential use	
Value less than \$100,000	\$500
Value \$100,000 to \$500,000	\$1,000
Value more than \$500,000	\$1,000 plus \$200 for each
\$100,000 value	

Special permits or special exception (in addition to the application fee and site plan fee)

<input type="checkbox"/> Residential	\$150
<input type="checkbox"/> Non-Residential	\$250
Excavation of fill materials	
Less than 1,000 cubic yards	\$500
1,000 to 49,999 cubic yards	\$1,000
50,000 to 99,999 cubic yards	\$2,000
100,000 or more cubic yards	\$4,000

Section 8.4(B)(3)(a) Detailed Statement

This project is the creation of two new dormitories and integrated infrastructure on The Taft School Corporation's ("Taft") campus at 110 Woodbury Road, Watertown (the "Property"). The Property is 165.76 acres and is located within the R-20 district. It abuts residential uses in both the R-30 and the R-10 districts. Taft owns over twenty of the parcels abutting the Property. The Property is currently classified as a private school; no change is proposed to the existing use.

By way of background, Taft has been an integral part of the Watertown community since 1893. In fact, Watertown's Plan of Conservation and Development ("POCD") states that Taft "play[s] an active role in maintaining the integrity of Watertown's historic buildings." The POCD also indicates that Taft is the largest private institution in Watertown, and among the largest employers. Throughout its years in the community, Taft has opened its campus and facilities to schools and programs, such as inviting local schools and clubs to use its ice rink and playing fields. The Taft campus is also open to local families for sledding, walking and running. These shared amenities are in direct alignment with the POCD's objective of working with Taft to explore opportunities to share private athletic facilities and recreational fields.

As is detailed in the attached plans, Taft is proposing the construction of two dormitories, each 10,546 square feet, for use by both boarding students and day students. The total student population is not expected to change but the proportion of day to boarding students may shift. The architectural design of the two dormitories is consistent with existing campus architecture.

Ancillary to the construction of the two dormitories, Taft proposes various pedestrian paths connecting the buildings to the campus infrastructure, surrounded by landscaped lawn areas. Given that the dormitories will also house faculty members, Taft proposes creation of a one-way access drive, connecting the campus's main circle to the new dormitories. The access road will also connect to the existing power plant and will exit via an existing access point onto North Street. The project will be landscaped and lit in accordance with the submitted plans.

Section 8.4(B)(3)(b) Detailed Statement

*A(1) The location and size of the site, the nature and intensity of the operations involved in or conducted in connection with the use, and the location of the site with respect to streets giving access to it are such that the use shall be in harmony with the appropriate and orderly development in the district in which it is located and shall promote the welfare of the Town.*

The use of the Property is currently, and will remain, “private school”. There is no anticipated change in the number of students or increase in vehicular traffic. No new campus access points are proposed. The proposed interior access drive will use existing means of ingress and egress from campus.

*A(2) The proposed use shall be of such location, size and characteristic that, in general, it will be in harmony with the appropriate and orderly development of the district in which it is proposed to be situated and shall not be detrimental to the orderly development of adjacent properties in accordance with the zoning classifications of such properties.*

As is noted above, no new use is proposed in this submission. This proposal only seeks to add two buildings and related interior infrastructure to its existing campus. The buildings will be harmonious with the existing campus and are consistent with its existing use.

*B(1) The design elements of the proposed development are suitable in relation to the site characteristics, the style of other buildings in the immediate area, and the existing and probable future nature of the neighborhood in which the use is located.*

The new dormitories and related infrastructure are designed to be harmonious with the existing campus buildings in both size and aesthetic, all of which will continue to be compatible with, and enhance, the nature of the surrounding neighborhood.

*B(2) The location, nature, and height of buildings, walls, and fences, planned activities and the nature and extent of landscaping on the site will be such that the use shall not hinder or discourage the appropriate development and use of adjacent land and buildings or impair the value thereof.*

The location, nature, and height of the proposed dormitories and ancillary walls, fences, landscaping, and planned activities will all be consistent with existing buildings, structures, and uses of the Taft campus. The project will enhance surrounding areas.

*B(3) The proposed use or activity shall not have any adverse effect upon the neighboring area resulting from the use of signs, artificial illumination or any noise making device.*

The two proposed dormitories will not create any adverse impact on the surrounding neighborhood. Lighting plans have been submitted herewith providing all requisite detail. No modifications to signage is proposed.

*C(1) The design, location and specific details of the proposed use or activity shall not decrease “level of service,” adversely affect safety in the streets nor interfere with the pattern of vehicular circulation in such a manner as to create or augment unsafe traffic conditions.*

This project will not decrease any level of service or adversely impact street safety. No new means of ingress or egress are proposed. The amount of vehicular traffic is anticipated to be consistent with current traffic levels.

*C(2) Parking areas will be of adequate size for the particular use and shall be suitably screened from adjoining residential uses and entrance and exit drives will be laid out so as to prevent traffic hazards and nuisances.*

Three small parking areas will be installed along the proposed access drive, creating 24 parking spaces for use by faculty who reside in the new dormitories. The net increase in spaces above existing parking is 11 spaces. The parking areas are screened using trees and other natural borders. No new means of ingress or egress are proposed.

*C(3) Streets and other rights-of-way will be of such a size, condition and capacity (in terms of width, grade, alignment and visibility) to adequately accommodate the traffic to be generated by the particular proposed use.*

The proposed internal access drive is of a size, condition, and capacity to adequately accommodate any traffic needs. It is anticipated that the primary use of the access drive will be by faculty who reside in the two proposed dormitories.

*D(1) The provisions for water supply, sewage disposal and storm water drainage conform to accepted engineering practices, comply with all standards of the appropriate regulatory authority, and shall not unduly burden the capacity of such facilities.*

This project contemplates for thoughtful stormwater, sewage disposal and water supply to ensure that existing systems are not overburdened. Stormwater management systems as designed will reduce peak flows to natural drainage systems on and off-site.

*D(2) The proposed use or activity shall provide easy accessibility for fire apparatus and police protection and is laid out and equipped to further the provision of emergency services.*

Fire and police services will be able to easily access the two new dormitories by use of the proposed access drive.

*E(1) Appropriate consideration shall be given to the protection, preservation, and/or enhancement of natural resources and unique resources including, where appropriate, the use of conservation restrictions to protect and permanently preserve such resources and features.*

The proposal is a modification of an existing use and is thoughtfully landscaped so as to create a diverse environment and support diverse flora, in turn creating a new habitat and foraging opportunity that does not currently exist.

*E(2) Suitable condition shall be given to whether the proposed development is appropriate given the types, terrain and characteristics of the land.*

The Property already supports similarly sized dormitories and other structures. The proposal of the two new dormitories is consistent therewith.

*E(3) Appropriate consideration shall be given to the protection, preservation, and/or enhancement of historic and archeologic resources including, where appropriate, the use of conservation restrictions to protect and permanently preserve such resources and features.*

This project is in harmony with the historic elements of Watertown and Taft's campus. Moreover, per the POCD, Taft has been a driving force in preserving historic structures in the area.

*E(4) Appropriate consideration shall be given to the protection, preservation, and/or enhancement of scenic resources, including, where appropriate the use of conservation restrictions to protect and permanently preserve such resources and features.*

The landscaping and development of new walking paths, open to the Watertown community, will directly enhance the Town's scenic resources.

*F(1) Adequate provision has been made for the sustained maintenance of the proposed development (structures, streets, and other improvements).*

The project is designed to promote sustainable maintenance. By way of example, the creation of walking paths connecting the new dormitories to other areas of Taft's campus helps ensure that students and faculty do not create incidental and unmaintainable pathways.

*G(1) The proposed use or activity does not conflict with the purposes of the Regulations, as amended.*

The proposed development satisfies the purpose of the R-20 district, maintaining a suburban environment. The creation of two dormitories on an existing private school campus of over 165 acres is easily supported in the district.

*G(2) the proposed use or activity does not conflict with the achievement of the goals, objectives, policies, and recommendations of the Plan of Conservation and Development, as amended.*

This proposal aligns with the POCD. In fact, the POCD states, in relevant part, that “Taft School play(s) an active role in maintaining the integrity of Watertown’s historic buildings.” The POCD also identifies “private institutional” as an existing land use in Watertown.

*G(3) The proposed use or activity adequately addresses the health, safety, and welfare of the public, in general, and the immediate neighborhood in particular.*

The two proposed dormitories on an existing private school campus are consistent with health, safety, and welfare objectives for the immediate neighborhood.



Town of Watertown

Connecticut

06795

Town of Watertown  
Public Works Department  
Heminway School Town Hall  
61 Echo Lake Road  
Watertown, CT 06795  
(860) 945-5240  
Fax (860) 945-2707  
www.watertownct.org

To: Spencer Musselman, Administrator for Land Use and Building Services/ZEO

From: Paul Bunevich, Town Engineer

Date: January 30, 2026

Subject: The Taft School – Proposed Dormitory Project  
110 Woodbury Road  
Watertown, CT

I have reviewed the Boundary Survey (2 sheets) dated 7-31-08 by Fuss & O'Neill; and the Topographic Survey (9 sheets) dated 12-12-25, the Site Plans (7 sheets) dated January 21, 2026, and the Engineering Summary Report dated January 21, 2026 by LRC Engineering & Surveying, LLC for the above referenced project. I have the following comments for your consideration:

- 1) The project consists of two new dormitory buildings, associated access drives and parking, landscaping and underground infiltration and above ground bioswales for stormwater control and water quality treatment. The project site layout meets the Town Zoning regulations for access drives and parking areas.
- 2) The Engineering Summary Report states that the water quality volumes for the access drives and parking areas will be detained below the grate of the yard drains in the Stormwater Management Areas, but no calculations for the water quality volumes have been submitted with the report. In addition, if the underground infiltration system for the dormitory roof drain runoff treats a portion of the water quality volume, that should be denoted in the Report.
- 3) The Flow Rate Attenuation calculations reveal that, as required, the post development peak flows are well below the pre-existing flows; however, based on the NOAA Point Precipitation chart, the Design Rainfall Amount for the 2 year storm appears to be based on the 12 hour total of 2.98 inches instead of the 24 hour total of 3.55 inches. The two year flow calculations should be revised accordingly.

Further comments may be forthcoming based on the anticipated Applicant's response to the above comments. If you have any questions let me know.


Cc: C. Allen  
C. Natusch  
S. Cummings

# Natural Diversity Data Base

## Areas

WATERTOWN, CT

June 2025

-  State and Federal Listed Species
-  Critical Habitat
-  Town Boundary

**NOTE:** This map shows known locations of State and Federal Listed Species and Critical Habitats. Information on listed species is collected and compiled by the Natural Diversity Data Base (NDDDB) from a variety of data sources. Exact locations of species have been buffered to produce the generalized locations.

This map is intended for use as a preliminary screening tool for conducting a Natural Diversity Data Base Review Request. To use the map, locate the project boundaries and any additional affected areas if the project is within a hatched area there may be a potential conflict with a listed species. For more information, use DEEP ezFile <https://files.deep.ct.gov/DEEPportal/> to submit a Request for Natural Diversity Data Base State Listed Species Review or Site Assessment. More detailed instructions are provided along with the request form on our website.

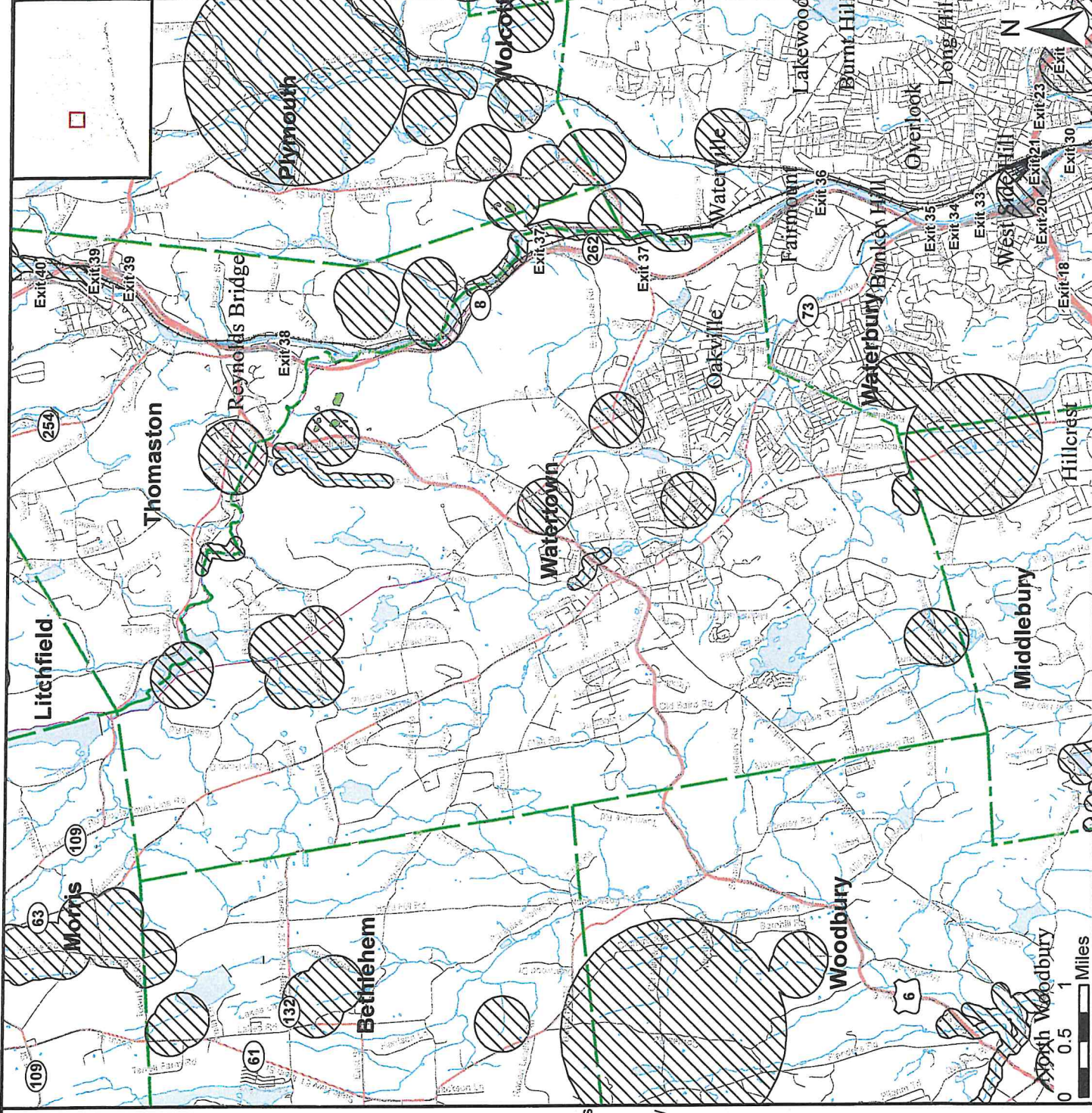
<https://portal.ct.gov/deep-nddbrequest>

Use the CTECO Interactive Map Viewers at <http://cteco.uconn.edu> to more precisely search for and locate a site and to view aerial imagery with NDDDB Areas.

**QUESTIONS:** Department of Energy and Environmental Protection (DEEP)  
79 Elm St, Hartford, CT 06106  
email: [deep.nddbrequest@ct.gov](mailto:deep.nddbrequest@ct.gov)  
Phone: (860) 424-3011



**Connecticut**  
Department of Energy &  
Environmental Protection



March 3, 2026

Watertown Planning & Zoning Commission  
61 Echo Lake Rd.  
Watertown, CT 06795

Dear Planning & Zoning Commission,

I am writing to oppose the proposed construction of new dormitories at The Taft School next to my home. The planned location backs directly up to my property on North Street, and I respectfully ask that the Committee deny this proposal as currently planned.

Placing multi-story dorm buildings directly behind a single-family home is not compatible with the surrounding residential area. This would significantly change the character of my property. Instead of open campus space, I would be facing the back of large student housing buildings with dramatically increased activity, lighting, and noise.

Dormitories are a more intense use than athletic fields. Students live there full-time, which brings extended hours of activity and general student life. That kind of use, right at a residential property line, creates a serious and *unfair impact on my home*.

The construction timeline (from April 2027 through August 2028 according to the Website) also means over a year of heavy equipment, noise, dust, and disruption. That burden would fall directly on my household.

I am also concerned about the long-term impact on my property value. A home directly next to dormitories is much less desirable than one next to traditional campus space.

The school owns most of the surrounding properties, which leaves my home as one of the only independent residences directly affected by this decision. That places the full impact of this expansion on a single homeowner.

Given the size of the school's campus, I ask that the Committee require the dormitories to be located elsewhere on the property, away from the residential boundary.

Thank you for your consideration.

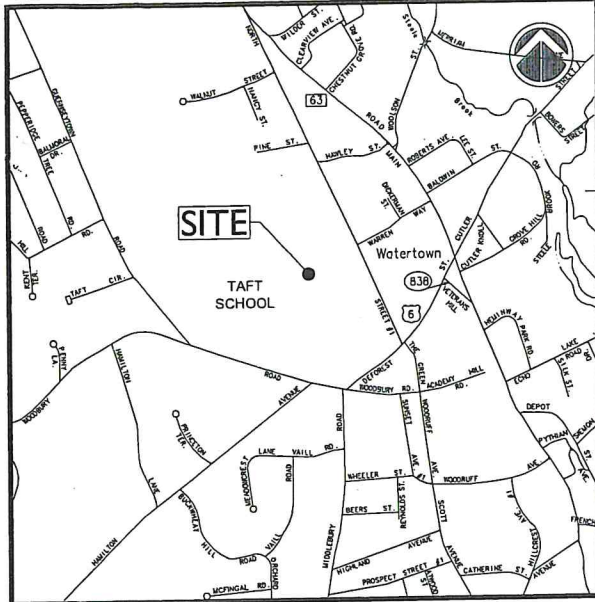
Respectfully submitted

Diane Chere  
87 North St.  
Watertown, CT 06795

# STUDENT DORMITORY PROJECT THE TAFT SCHOOL

110 Woodbury Road  
WATERTOWN, CONNECTICUT

CONSERVATION COMMISSION / INLAND WETLAND AGENCY APPLICATION



### VICINITY MAP

SCALE: 1"=1,000'

#### OWNER / APPLICANT:

TAFT SCHOOL  
110 WOODBURY ROAD  
WATERTOWN, CT 06795-2100  
PHONE: 860.945.7760

#### ARCHITECTURE:

VOITH & MACTAVISH ARCHITECTS LLP  
2401 WALNUT STREET, 6TH FLOOR  
PHILADELPHIA, PA 19103  
PHONE: 215.545.4544

#### STRUCTURAL ENGINEER:

KEAST & HOOD  
1635 MARKET STREET #1705  
PHILADELPHIA, PA 19103  
PHONE: 215.625.0099

#### MEP ENGINEER:

KOHLER RONAN CONSULTING ENGINEERS  
93 LAKE AVENUE  
DANBURY, CT 06810  
PHONE: 203.778.1017

#### LANDSCAPE DESIGN:

TL STUDIO  
110 KING PHILIP ROAD UNIT 2A  
RUMFORD, RI 02916  
PHONE: 401.383.3574

#### AV/IT/SECURITY

NV5  
1315 WALNUT STREET #900  
PHILADELPHIA, PA 19107  
PHONE: 215.751.1133

#### LIGHTING DESIGN

O'DONOHUE LIGHTING  
1816 S. 2ND STREET  
PHILADELPHIA, PA 19148  
PHONE: 215.518.4788

#### CIVIL ENGINEER:



- Civil Engineering
- Land Surveying
- Landscape Architecture
- Land Planning
- Laser Scanning & BIM
- Subsurface Utility Engineering

Land Resource Consultants  
Engineering & Surveying, LLC

160 West Street, Suite E  
Cromwell, CT 06416  
(860) 633-2877

85 Civic Center Plaza, Suite 204  
Poughkeepsie, NY 12601  
(845) 243-2880

www.lrcconsult.com



### LOCATION MAP

SCALE: 1"=200'

### INDEX OF DRAWINGS

	COVER SHEET
VO1 & VO2	BOUNDARY SURVEY
EX-1 THRU EX-9	TOPOGRAPHIC SURVEY
L1.0	OVERALL LANDSCAPE PLAN
L1.1	DORM 1 & 2 LAYOUT & MATERIAL PLAN
L1.2	MAIN CIRCLE LAYOUT & MATERIALS PLAN
L2.0	DORM 1 & 2 GRADING PLAN
L2.1	MAIN CIRCLE GRADING PLAN
L3.0	DORM 1 & 2 PLANTING PLAN
L3.1	MAIN CIRCLE PLANTING PLAN
L4.0	SECTIONS
A1.0	BASEMENT FLOOR PLAN
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	THIRD FLOOR PLAN
A1.4	FOURTH FLOOR PLAN
A1.5	ATTIC FLOOR PLAN
A1.6	ROOF PLAN
A3.1	ELEVATIONS
A3.2	ELEVATIONS
A3.3	ELEVATIONS
A3.4	ELEVATIONS
C1.1	DORM 1 & 2 DEMOLITION PLAN
C1.2	DORM 1 & 2 DEMOLITION PLAN
C1.3	DORM 1 & 2 DEMOLITION PLAN
C2.1	DORM 1 & 2 DRAINAGE PLAN
C2.2	DORM 1 & 2 DRAINAGE PLAN
C2.3	DORM 1 & 2 DRAINAGE PLAN
C3.1	DORM 1 & 2 SITE UTILITIES PLAN
C3.2	DORM 1 & 2 SITE UTILITIES PLAN
C3.3	DORM 1 & 2 SITE UTILITIES PLAN
C4.1	DORM 1 & 2 SEDIMENTATION & EROSION CONTROL PLAN
C4.2	DORM 1 & 2 SEDIMENTATION & EROSION CONTROL PLAN
C4.3	DORM 1 & 2 SEDIMENTATION & EROSION CONTROL PLAN
C5.1	DORM 1 & 2 CONSTRUCTION DETAILS
C5.2	DORM 1 & 2 CONSTRUCTION DETAILS
C5.3	DORM 1 & 2 CONSTRUCTION DETAILS
C5.4	DORM 1 & 2 CONSTRUCTION DETAILS
LI-1.0	SITE LIGHTING PLAN
LI-1.1	NORTH SITE LIGHTING PLAN PHOTOMETRY
LI-1.2	SOUTH SITE LIGHTING PLAN PHOTOMETRY
LI-2.0	LIGHTING FIXTURE DETAILS

### ZONING SUMMARY TABLE

ZONING INFORMATION			
PARCEL SIZE	165.76 ACRES (Referenced from the town GIS)		
ASSESSOR'S LOCATION	MAP 99 BLOCK 58 LOT 7		
ZONING DISTRICT	R-20 DISTRICT		
PROPOSED USE	STUDENT DORMITORY PROJECT		
ITEM	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	20,000 SF	7,220,506 SF	7,220,506 SF
MINIMUM FRONTAGE	75 FT	3,309 FT	3,309 FT
BUILDING SETBACKS			
FRONT YARD	25 FT	36.4 FT	408.9 FT
SIDE YARD	20 FT	20 FT	186.1 FT
REAR YARD	50 FT	50 FT	872.9 FT
MAXIMUM BUILDING HEIGHT (FEET)	35 FT	*54 FT	**54 FT
MAXIMUM BUILDING HEIGHT (STORIES)	3	*	**
MAXIMUM BUILDING COVERAGE	15%	4.3%	4.6%
MAXIMUM IMPERVIOUS SURFACE COVERAGE	25%	8.6%	9.5%

\* Received a variance for building height for the John L. Vogelstein Dormitory building  
\*\* A text amendment to the zoning regulations is proposed.

ISSUED TO LAND USE PERMITS:

01-21-2026

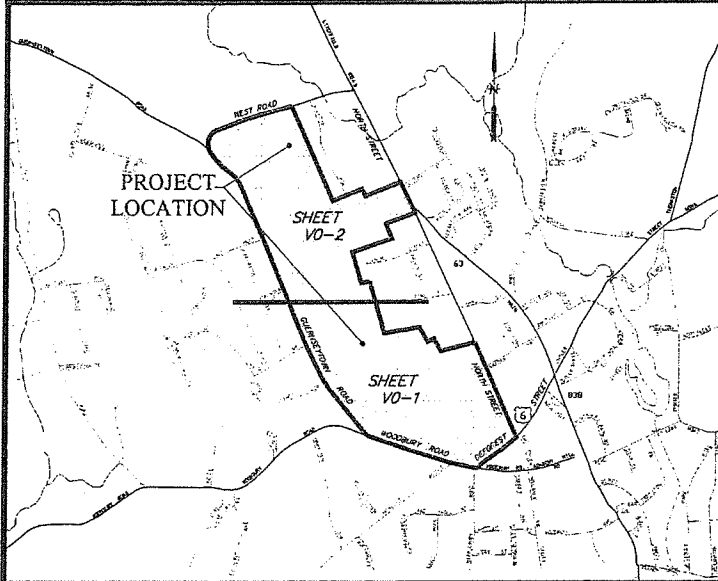
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CTB: F & O STANDARD

LMAN.BND

IMS VIEW: V0-1

UCS: WORLD



KEY MAP AND INDEX PLAN - N.T.S.

**MAP REFERENCES:**

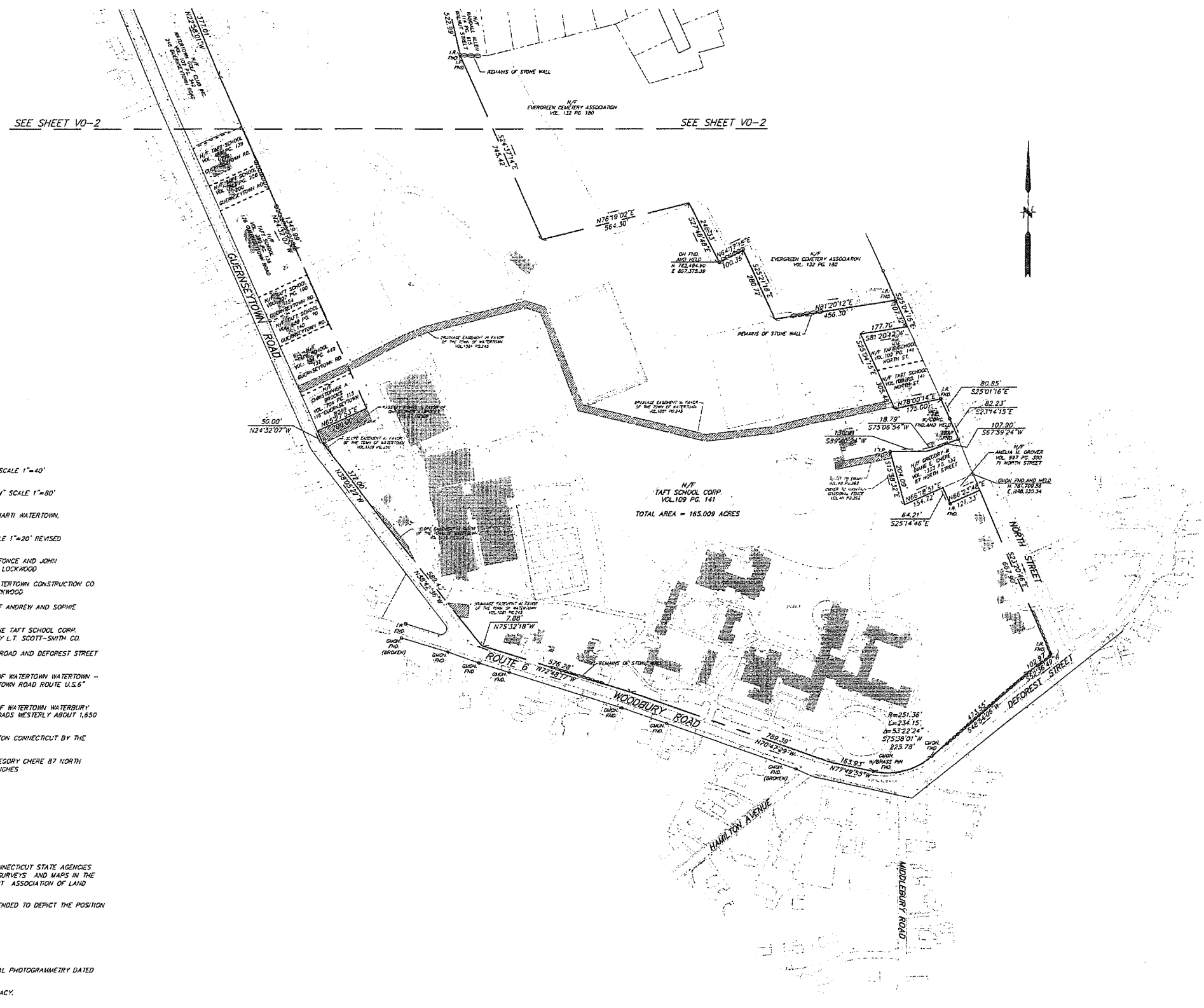
1. "PROPERTY OF HOWARD M. HICKCOX WATERTOWN CONN. SECTION NO. 1" SCALE 1"=40' DATE MARCH 28, 1925 BY BRONSON E. LOCKWOOD
2. "MAP OF LAND BELONGING TO MRS. ELLEN H. SCOVILL WATERTOWN, CONN" SCALE 1"=80' DATE MARCH 1929 BY WILLIAM B. REYNOLDS
3. "MAP OF SECTION ONE CLOVERDALE BELONGING TO EDWARD & BERTHA MARTI WATERTOWN, CT." SCALE 1"=10' DATE APRIL 1949 BY ARTHUR N. WOOD
4. "PROPERTY OF ORS AND DOBIS W. SALVATORE WATERTOWN, CONN." SCALE 1"=20' REVISED MARCH 1951 BY WILLIAM B. REYNOLDS
5. "PLAN OF WALNUT ACRES SECTION NO. 1 OWNED AND DEVELOPED BY ALFONCE AND JOHN KONTOUT WATERTOWN, CONN." SCALE 1"=30' DATE NOVEMBER 1951 BY B.E. LOCKWOOD
6. "SECTION NO. 2 PLAN OF WALNUT ACRES OWNED AND DEVELOPED BY WATERTOWN CONSTRUCTION CO INC. WATERTOWN, CONN." SCALE 1"=50' DATE SEPTEMBER 1952 BY B.E. LOCKWOOD
7. "MAP REVISING A PORTION OF 'SECTION ONE-CLOVERDALE BEING LAND OF ANDREW AND SOPHIE KUSAILA" SCALE 1"=50' DATE NOVEMBER 1962 BY HARRY G. OHEWS, JR.
8. "SUBDIVISION PLAN LAND OF THE TAFT SCHOOL CORPORATION OWNER: THE TAFT SCHOOL CORP. 110 WOODBURY ROAD WATERTOWN, CONN" SCALE 1"=40' DATE JUNE 1976 BY L.T. SCOTT-SMITH CO.
9. "PORTION OF PROPERTY OF THE TAFT SCHOOL CORPORATION WOODBURY ROAD AND DEFOREST STREET WATERTOWN, CT." SCALE 1"=100' DATE 5/9/80 BY H.W. HART
10. "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF WATERTOWN WATERTOWN - WOODBURY ROAD FROM THE WOODBURY TOWN LINE EASTERLY TO GUERNEYSTOWN ROAD ROUTE U.S.6" SCALE 1"=40' DATE SEPTEMBER 20, 1934
11. "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF WATERTOWN WATERTOWN WOODBURY ROAD FROM THE INTERSECTION OF THOMASTON & WATERBURY ROADS WESTERLY ABOUT 1,650 FEET ROUTE U.S.6" SCALE 1"=40' DATE FEB. 14, 1934
12. "TOWN OF WATERTOWN MAP SHOWING LAND RELEASED TO BANK OF BOSTON CONNECTICUT BY THE STATE OF CONNECTICUT U.S. ROUTE 6" SCALE 1"=40' DATE JANUARY 1988
13. "ZONING LOCATION SURVEY - PROPOSED PREPARED FOR DIANE E. & GREGORY CHERE BY NORTH STREET WATERTOWN, CT." NOVEMBER 6, 2004 SCALE 1"=20' BY DAVID A. HUGHES

**SURVEY NOTES:**

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1995.
2. THE TYPE OF SURVEY PERFORMED IS A BOUNDARY SURVEY, AND IS INTENDED TO DEPICT THE POSITION OF THE BOUNDARIES WITH RESPECT TO ALL MONUMENTATION.
3. BOUNDARY DETERMINATION IS BASED ON A DEPENDENT RESURVEY.
4. THIS PLAN CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.
5. HORIZONTAL DATUM IS BASED ON NAD 83.
6. PLANIMETRIC FEATURES PROVIDED BY JAMES W. SEWELL COMPANY AERIAL PHOTOGRAMMETRY DATED 6/12/2008
7. ABUTTING PROPERTY LINES ARE BASED ON CLASS D HORIZONTAL ACCURACY.
8. ALL MONUMENTATION LOCATED HAVE BEEN DEPICTED HEREON.

SEE SHEET V0-2

SEE SHEET V0-2



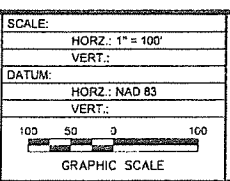
SEE SHEET V0-2 FOR LEGEND

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CHIEF DESIGNER:		SEAL													
REVIEWED BY:	DATE														
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No.	DATE	DESCRIPTION	BY												

TO MY KNOWLEDGE AND BELIEF, THESE MAPS ARE SUBSTANTIALLY CORRECT AS NOTED HEREON.

DAVID A. CARICCHIO  
70036  
LICENSE No.

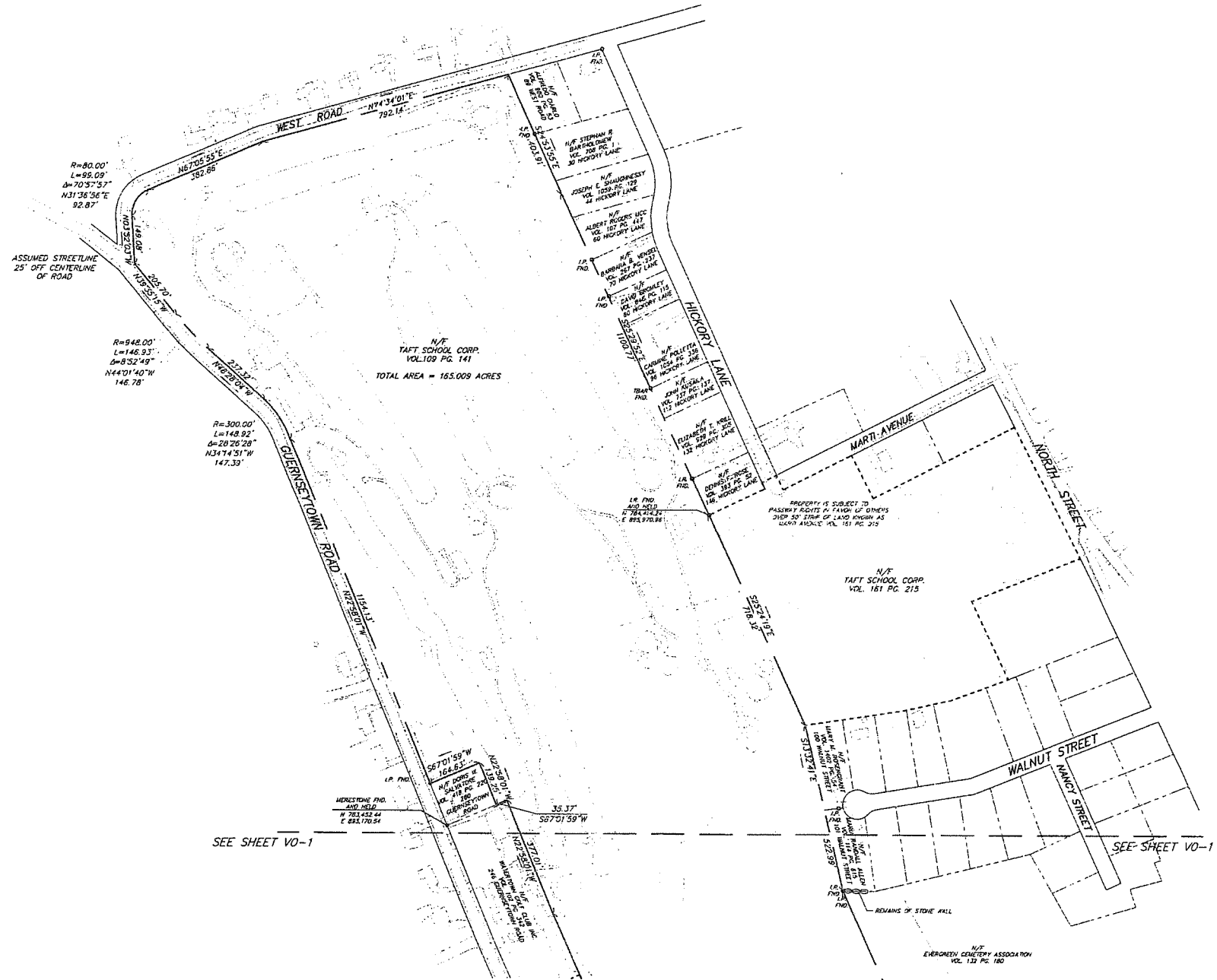
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HORIZ.: 1" = 100'  
VERT.:  
DATUM:  
HORIZ.: NAD 83  
VERT.:  
GRAPHIC SCALE



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BOUNDARY SURVEY  
OF A PORTION OF THE  
TAFT SCHOOL MAIN CAMPUS  
110 WOODBURY ROAD WATERTOWN, CONNECTICUT

PROJ. No.: 95023.V20  
DATE: 7/31/08  
**V0-1**



**LEGEND**

- UTILITY POLE
- SIGN
- GAS GATE
- LIGHT
- EXISTING IRON PIPE
- EXISTING MONUMENT
- TAFT SCHOOL PROPERTY INCLUDED IN THIS SURVEY
- - - TAFT SCHOOL PROPERTY NOT INCLUDED IN THIS SURVEY
- ABUTTING PROPERTY OWNERS
- STREET LINE
- EASEMENT LINE
- EDGE OF WATER
- TREELINE
- STONE WALL
- CHAIN LINK FENCE
- STOCKADE FENCE
- EASEMENT ON TAFT SCHOOL PROPERTY
- EXISTING BUILDING ON TAFT SCHOOL PROPERTY

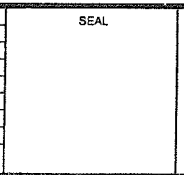
**SURVEY NOTES:**

1. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
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8. ALL MONUMENTATION LOCATED HAVE BEEN DEPICTED HEREON.

SEE SHEET VO-1 FOR MAP REFERENCES

No.	DATE	DESCRIPTION	BY
1.			

PROJ. MANAGER:	SEAL
CHIEF DESIGNER:	SEAL
REVIEWED BY:	
DATE:	



TO MY KNOWLEDGE AND BELIEF, THESE MAPS ARE SUBSTANTIALLY CORRECT AS NOTED HEREON.

*David A. Caricchio*

DAVID A. CARICCHIO 70036  
LICENSE No.

SCALE:  
 HORZ.: 1" = 100'  
 VERT.:  
 DATUM:  
 HORZ.: NAD 83  
 VERT.:  
 GRAPHIC SCALE

WWW.FandO.COM

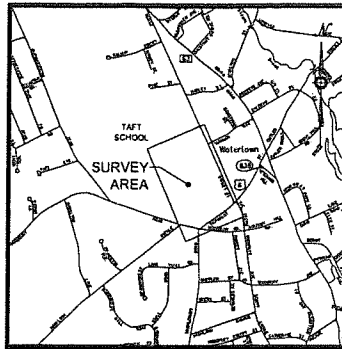
**FUSS & O'NEILL**  
Disciplines to Deliver

146 HARTFORD RD MANCHESTER, CT 06040 860.646.2459

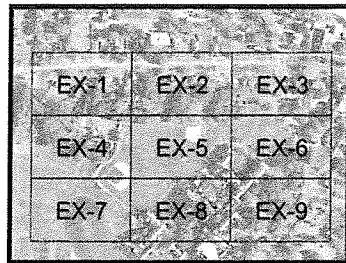
BOUNDARY SURVEY  
 OF A PORTION OF THE  
 TAFT SCHOOL MAIN CAMPUS  
 110 WOODBURY ROAD WATERTOWN, CONNECTICUT

PROJ. No.: S5023.V20  
 DATE: 7/31/08

**V0-2**



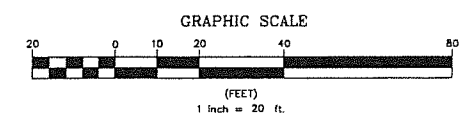
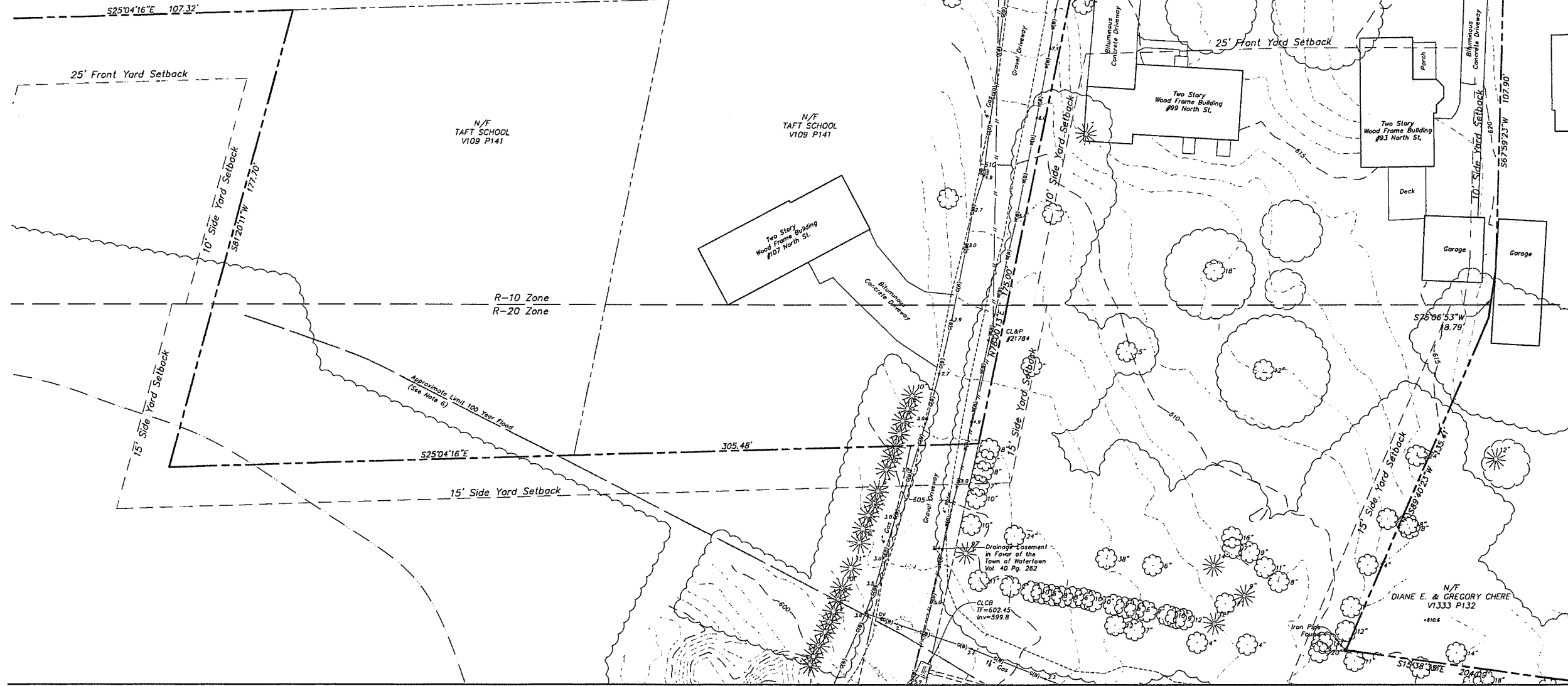
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Scale 1"=1,500'



Key Map  
Scale 1"=500'

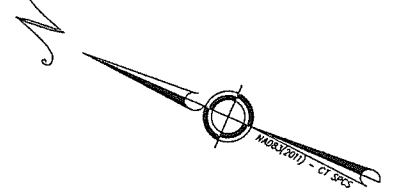
Map Notes

- This map and survey have been prepared in accordance with the Regulations of Connecticut State Agencies, Sections 20-300a-1 through 20-300a-20, "Minimum Standards of Accuracy, Content and Certification for Surveys and Maps", effective June 21, 1996, amended October 26, 2018.  
The type of survey performed and the mapped features depicted herein are in accordance with the requirements of a Topographic Survey and is intended to note or depict the existing site conditions within the project area with respect to existing physical features such as structures, parking areas, sidewalks, fences, walls, boll fields, trees, spot elevations and contours.  
The contour interval is one (1) foot.  
There is no boundary determination/opinion.  
Property lines depicted herein are approximate and do not represent a property/boundary opinion. The approximate property line information was compiled from the map referenced in note 4A. It is not to be construed as having been obtained as the result of a field survey, and is subject to change based on such facts as an accurate field survey may disclose.  
This survey conforms to Horizontal Accuracy Class D & A-2.  
This survey conforms to Topographic Survey Accuracy Class T-2.  
This survey conforms to Vertical Accuracy Class V-2.  
Aerial survey was flown on October 27, 2025.  
Field survey was completed on December 12, 2025.
- North arrow and bearings are referenced to the North American Datum (NAD) of 1983 projected onto the Connecticut State Plane Coordinate System based on the averaged values of multiple GPS observations made on GPS observations made on March 19, 2025 utilizing the Keystone KeyNetGPS VRS Network.
- Elevations and contours are referenced to North American Vertical Datum (NAVD) of 1983 based on the averaged values of multiple GPS observations made on March 19, 2025 utilizing the Keystone KeyNetGPS VRS Network.
- Reference is made to the following maps:  
A. "Boundary Survey of a Portion of the Taft School Main Campus, 110 Woodbury Road, Watertown, Connecticut", scale 1"=100', dated July 31, 2008, revised September 30, 2008, prepared by Fuss & O'Neill.
- Parcel is identified as Tax Block 58, Lot 7 on the Town of Watertown Assessor's Map 99.
- Portion of the property is located in Zone "B" (areas between 100-year and 500-year flood or area subject to 100-year flood with depths average less than 1 foot) and Zone "C" (areas of minimal flooding) as depicted on Flood Insurance Rate Map (FIRM) Panels 5 & 6 of 11, Litchfield County, Connecticut, Town of Watertown, community number 090058, with an effective date of November 5, 1980.
- The subsurface utilities depicted herein conform to the following Utility Quality Levels, as defined by the American Society of Civil Engineers (ASCE) in Document C/ASCE 38-02 titled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data".  
The contractor is required to utilize the local utility one call system prior to excavation for the purpose of verifying the subsurface utilities in the area.  
See Utility Quality Levels legend on Sheet Es-2.



Legend	
	Property Line
	Easement Line
	Index Contour
	Intermediate Contour
	Treeline
	Hedge/Shrub Line
	Stone Wall
	Retaining Wall
	Fence
	Guide Rail
	Stream/Edge of Water
	Limit of Wetlands
	Upland Review/Regulated Area
	Storm Sewer
	Sanitary Sewer
	Water Main
	Gas Main
	Concrete Surface
	Gravel Surface
	Deciduous Tree
	Coniferous Tree
	Catch Basin
	Curbside Catch Basin
	Shrub
	Manument
	Iron Pin, Pipe, Rebar, Drill Hole
	Wellhead Flag
	Sign
	Bollard
	Existing Spot Grade
	Guy Wire
	Mailbox
	Utility Pole
	Water Valve
	Hydrant
	Gas Valve
	Handicap Parking
	End of Geophysical Information (Signal Lost)
	Electric Handhole
	Unidentified Handhole
	Irrigation Control Box
	Drainage Manhole
	Sanitary Manhole
	Electric Manhole
	Telephone Manhole
	Paved-Over Manhole
	Manhole, Utility Type Unknown
	Domestic Water Well
	Lamp Post
	Steam Manhole
	Double Light Pole
	Now or Formerly (in Title of)

MATCHLINE SEE SHEET 4 of 9



Deed References  
Volume 109 Page 141

Certification  
To my knowledge and belief this map is substantially correct as noted hereon.  
*John F. Wagenblatt*  
JOHN F. WAGENBLATT L.S. No. 17,791



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www.irc.com

**TOPOGRAPHIC SURVEY**  
SHEET 1 OF 9  
**TAFT SCHOOL**  
110 WOODBURY ROAD  
TOWN OF WATERTOWN  
LITCHFIELD COUNTY, CONNECTICUT

Design/Calc	JW	CAD File	EX24325001.dwg	Sheet No.
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Checked	JW	Date	12/12/2025	
Approved	JW	Scale	1"=20'	

**EX-1**

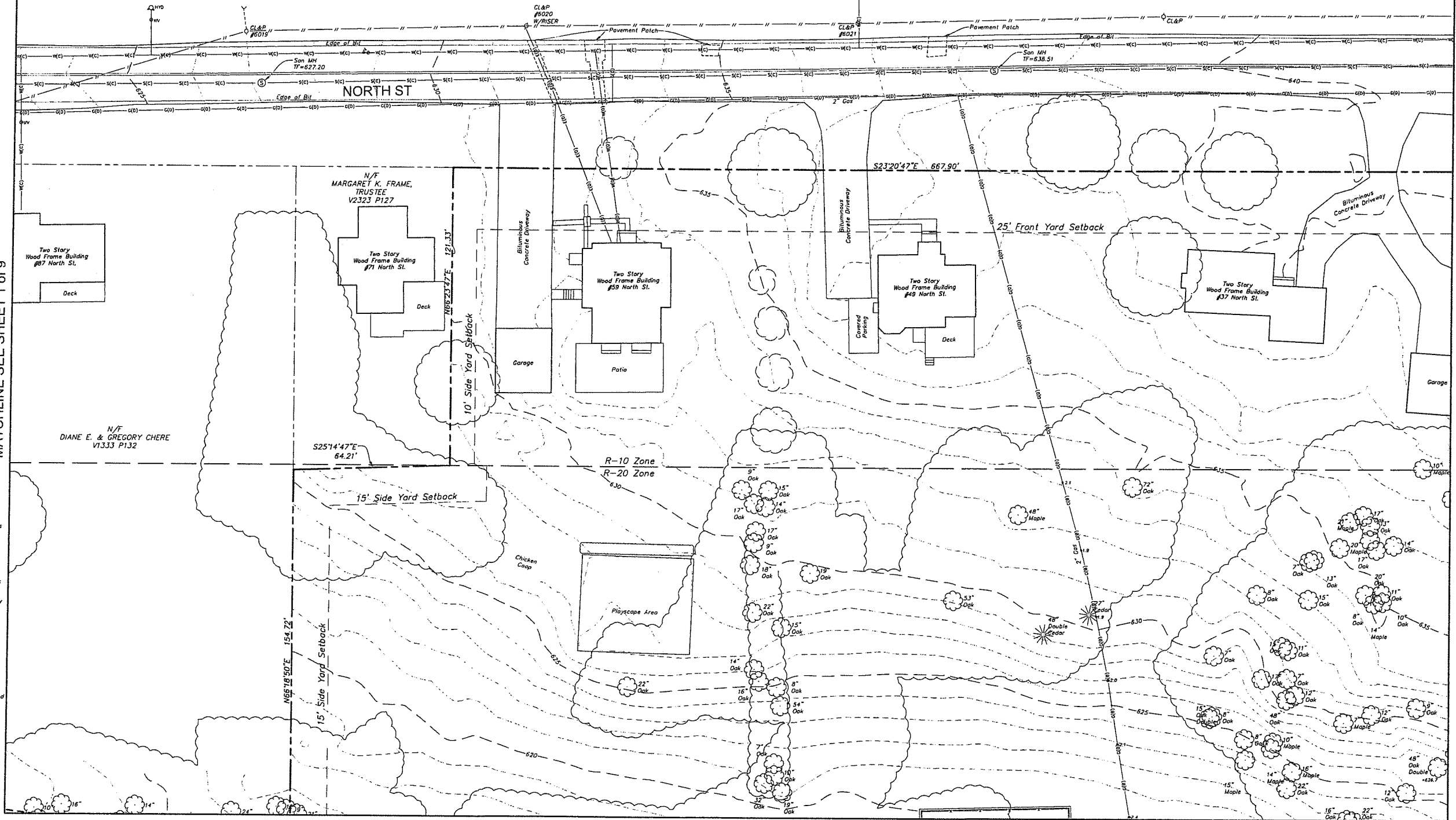
MATCHLINE SEE SHEET 2 of 9

EX-1	EX-2	EX-3
EX-4	EX-5	EX-6
EX-7	EX-8	EX-9

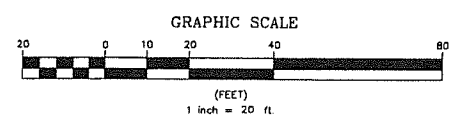
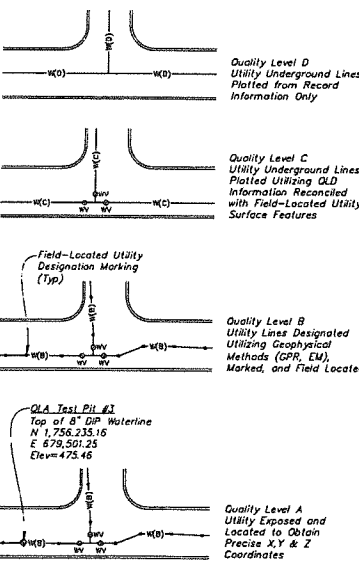
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Scale 1"=500'

MATCHLINE SEE SHEET 1 of 9

MATCHLINE SEE SHEET 3 of 9



**UTILITY QUALITY LEVELS**

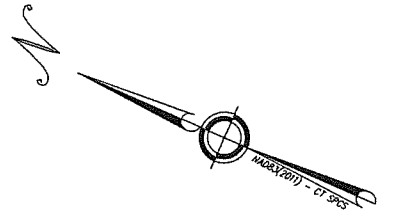


**Certification**  
To my knowledge and belief this map is substantially correct as noted hereon.  
*John F. Wagenblatt*  
JOHN F. WAGENBLATT L.S. No. 17,791



<p>Properly Line</p> <p>Easement Line</p> <p>Index Contour</p> <p>Intermediate Contour</p> <p>Treeline</p> <p>Hedge/Shrub Line</p> <p>Stone Wall</p> <p>Retaining Wall</p> <p>Fence</p> <p>Guide Rail</p> <p>Stream/Edge of Water</p> <p>Limit of Wetlands</p> <p>Upland Review/Regulated Area</p> <p>Storm Sewer</p> <p>Sanitary Sewer</p> <p>Water Main</p> <p>Gas Main</p>	<p>Concrete Surface</p> <p>Gravel Surface</p> <p>Deciduous Tree</p> <p>Coniferous Tree</p>	<p>Electric Line</p> <p>Telephone Line</p> <p>Fiber Optic Line</p> <p>Steam Line</p> <p>Site Light Line</p> <p>Overhead Wire</p>	<p>Catch Basin</p> <p>Curbside Catch Basin</p> <p>Shrub</p> <p>Monument</p> <p>Iron Pin, Pipe, Rebar, Drill Hole</p> <p>Wellhead Flag</p> <p>Sign</p> <p>Ballard</p> <p>Existing Spot Grade</p> <p>Guy Wire</p> <p>Mailbox</p> <p>Utility Pole</p> <p>Water Valve</p> <p>Hydrant</p> <p>Gas Valve</p> <p>Handicap Parking</p> <p>End of Geophysical Information (Signal Lost)</p>	<p>Electric Handhole</p> <p>Unidentified Handhole</p> <p>Irrigation Control Box</p> <p>Drainage Manhole</p> <p>Sanitary Manhole</p> <p>Electric Manhole</p> <p>Telephone Manhole</p> <p>Paved-Over Manhole</p> <p>Manhole, Utility Type Unknown</p> <p>Domestic Water Well</p> <p>Lamp Post</p> <p>Steam Manhole</p> <p>Double Light Pole</p> <p>Now or Formerly (in Title of)</p>
---	--	--	---	--

MATCHLINE SEE SHEET 5 of 9



SEE SHEET EX-1 FOR MAP NOTES

**TOPOGRAPHIC SURVEY**

SHEET 2 OF 9

**Taft School**

110 WOODBURY ROAD  
TOWN OF WATERTOWN  
LITCHFIELD COUNTY, CONNECTICUT

**Legend**

• Civil Engineering

• Land Surveying

• Landscape Architecture

• Land Planning

• Laser Scanning & BIM

• Subsurface Utility Engineering

Land Resource Consultants  
Engineering & Surveying, LLC

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Canaan, CT 06046  
(860) 833-3477

81 Cross Country Plaza, Suite 204  
Toughkenown, NY 12081  
(518) 518-1000

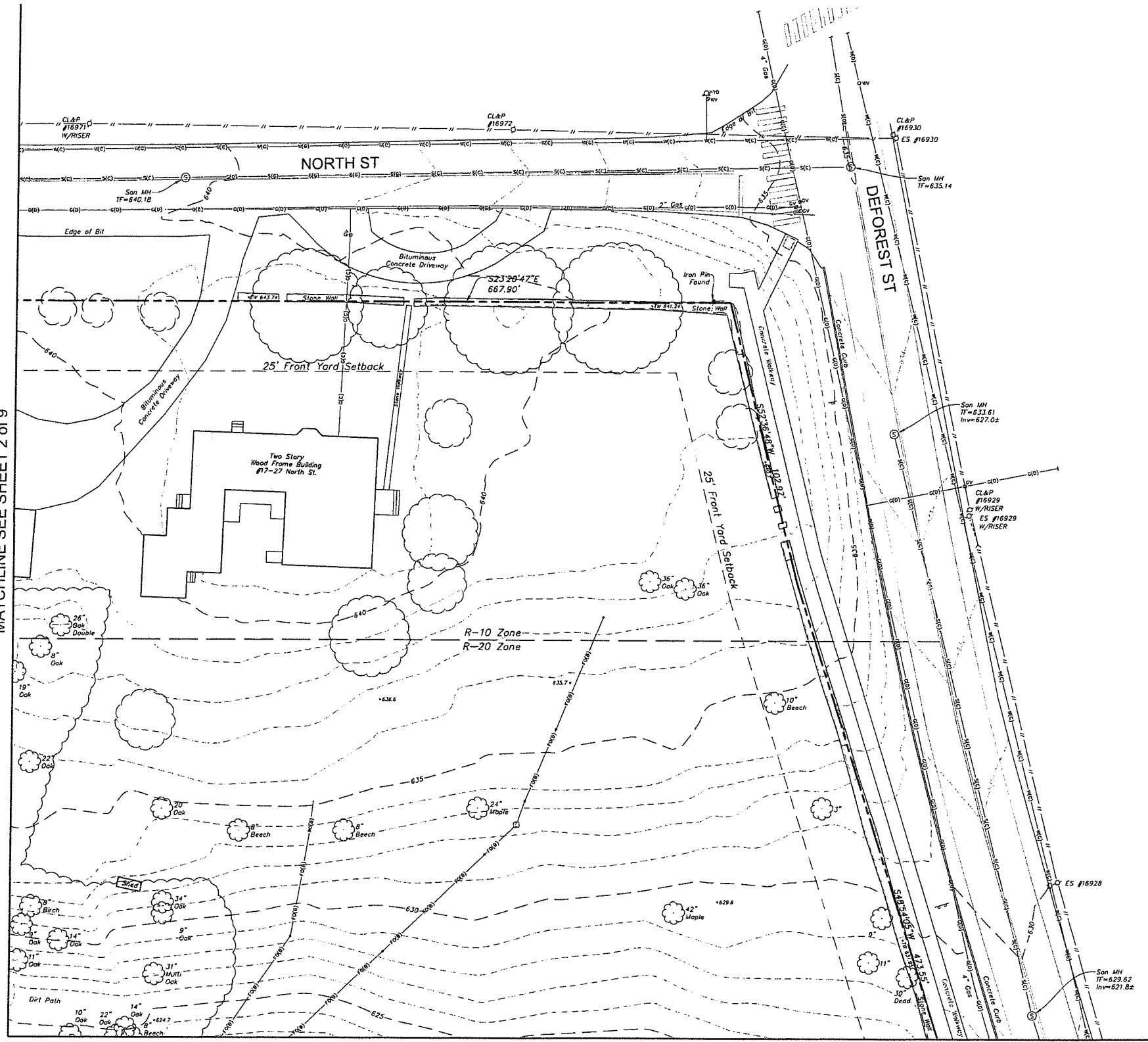
www.lrcsurvey.com

Design/Color	JW	CAD File	EX24325801.dwg	Sheet No.
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Checked	JW	Date	12/12/2025	
Approved	JW	Scale	1"=20'	

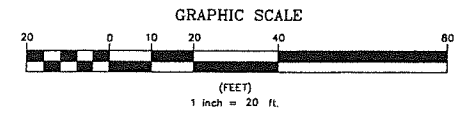
EX-1	EX-2	EX-3
EX-4	EX-5	EX-6
EX-7	EX-8	EX-9

Key Map  
Scale 1"=500'

MATCHLINE SEE SHEET 2 of 9

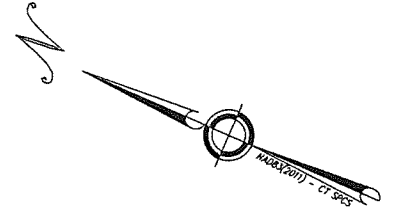


MATCHLINE SEE SHEET 6 of 9



	Property Line		Concrete Surface
	Easement Line		Gravel Surface
	Index Contour		Deciduous Tree
	Intermediate Contour		Coniferous Tree
	Treenline		
	Hedge/Shrub Line		
	Stone Wall		
	Retaining Wall		
	Guide Rail		
	Stream/Edge of Water		
	Limit of Wetlands		
	Upland Review/Regulated Area		
	Storm Sewer		
	Sanitary Sewer		
	Water Main		
	Gas Main		

	Electric Line		Electric Handhole
	Telephone Line		Unidentified Handhole
	Fiber Optic Line		Irrigation Control Box
	Steam Line		Drainage Manhole
	Site Light Line		Sanitary Manhole
	Overhead Wire		Electric Manhole
	Catch Basin		Telephone Manhole
	Curbside Catch Basin		Paved-Over Manhole
	Shrub		Manhole, Utility Type Unknown
	Monument		Domestic Water Well
	Iron Pin, Pipe, Rebar, Drill Hole		Lamp Post
	Wetland Flag		Steam Manhole
	Sign		Double Light Pole
	Ballard		Now or Formerly (in Title of)
	Existing Spot Grade		
	Guy Wire		
	Mailbox		
	Utility Pole		
	Water Valve		
	Hydrant		
	Gas Valve		
	Handicap Parking		
	End of Geophysical Information (Signal Lost)		



**Certification**  
To my knowledge and belief this map is substantially correct as noted hereon.  
*John F. Wagenblatt*  
JOHN F. WAGENBLATT L.S. No. 17,791



**LRC**  
Civil Engineering  
Land Surveying  
Landscape Architecture  
Land Planning  
Laser Scanning & BIM  
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440 New Britain, Suite E  
Cromwell, CT 06416  
(860) 633-2477  
1843 243 3480  
www.lrcsurvey.com

SEE SHEET EX-1 FOR MAP NOTES.

**TOPOGRAPHIC SURVEY**  
SHEET 2 OF 9

**Taft School**  
110 WOODBURY ROAD  
TOWN OF WATERTOWN  
LITCHFIELD COUNTY, CONNECTICUT

Design/Calcs	JW	CAD File	EX24325801.dwg	Sheet No.
Drawn	RM/RN	Project No.	24-3258	
Checked	JW	Date	12/12/2025	
Approved	JW	Scale	1"=20'	

**EX-3**



EX-1	EX-2	EX-3
EX-4	EX-5	EX-6
EX-7	EX-8	EX-9

Key Map  
Scale 1"=500'

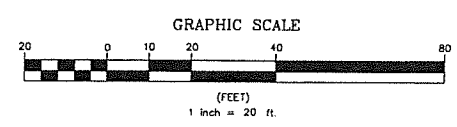
MATCHLINE SEE SHEET 2 of 9



MATCHLINE SEE SHEET 4 of 9

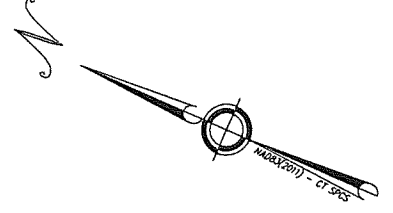
MATCHLINE SEE SHEET 6 of 9


MATCHLINE SEE SHEET 8 of 9



Legend	
	Property Line
	Easement Line
	Index Contour
	Intermediate Contour
	Treeline
	Hedge/Shrub Line
	Stone Wall
	Retaining Wall
	Fence
	Guide Rail
	Stream/Edge of Water
	Limit of Wetlands
	Upland Review/Regulated Area
	Storm Sewer
	Sanitary Sewer
	Water Main
	Gas Main
	Electric Line
	Telephone Line
	Fiber Optic Line
	Steam Line
	Site Light Line
	Overhead Wire
	Concrete Surface
	Gravel Surface
	Deciduous Tree
	Coniferous Tree
	Catch Basin
	Curbless Catch Basin
	Shrub
	Monument
	Iron Pin, Pipe, Rebar, Drill Hole
	Wetland Flag
	Sign
	Ballard
	Existing Spot Grade
	Guy Wire
	Mailbox
	Utility Pole
	Water Valve
	Hydrant
	Gas Valve
	Handicap Parking
	End of Geophysical Information (Signal Last)
	Electric Handhole
	Unidentified Handhole
	Irrigation Control Bar
	Drainage Manhole
	Sanitary Manhole
	Electric Manhole
	Telephone Manhole
	Paved-Over Manhole
	Manhole, Utility Type Unknown
	Domestic Water Well
	Lamp Post
	Steam Manhole
	Double Light Pole
	Now or Formerly (in Title of)

**Certification**  
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*John F. Wagenblatt*  
JOHN F. WAGENBLATT L.S. No. 17,791





**TOPOGRAPHIC SURVEY**  
SHEET 5 OF 9

**TAFT SCHOOL**  
110 WOODBURY ROAD  
TOWN OF WATERTOWN  
LITCHFIELD COUNTY, CONNECTICUT

• Civil Engineering  
• Land Surveying  
• Landscape Architecture  
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Cromwell, CT 06415  
(860) 433-1212

11 Civic Center Plaza, Suite 204  
Hartford, CT 06115  
(860) 524-1200

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Design/Calc	JW	CAD File	EX24325801.dwg	Sheet No.
Drawn	RM/RN	Project No.	24-3258	<b>EX-5</b>
Checked	JW	Date	12/12/2025	
Approved	JW	Scale	1"=20'	

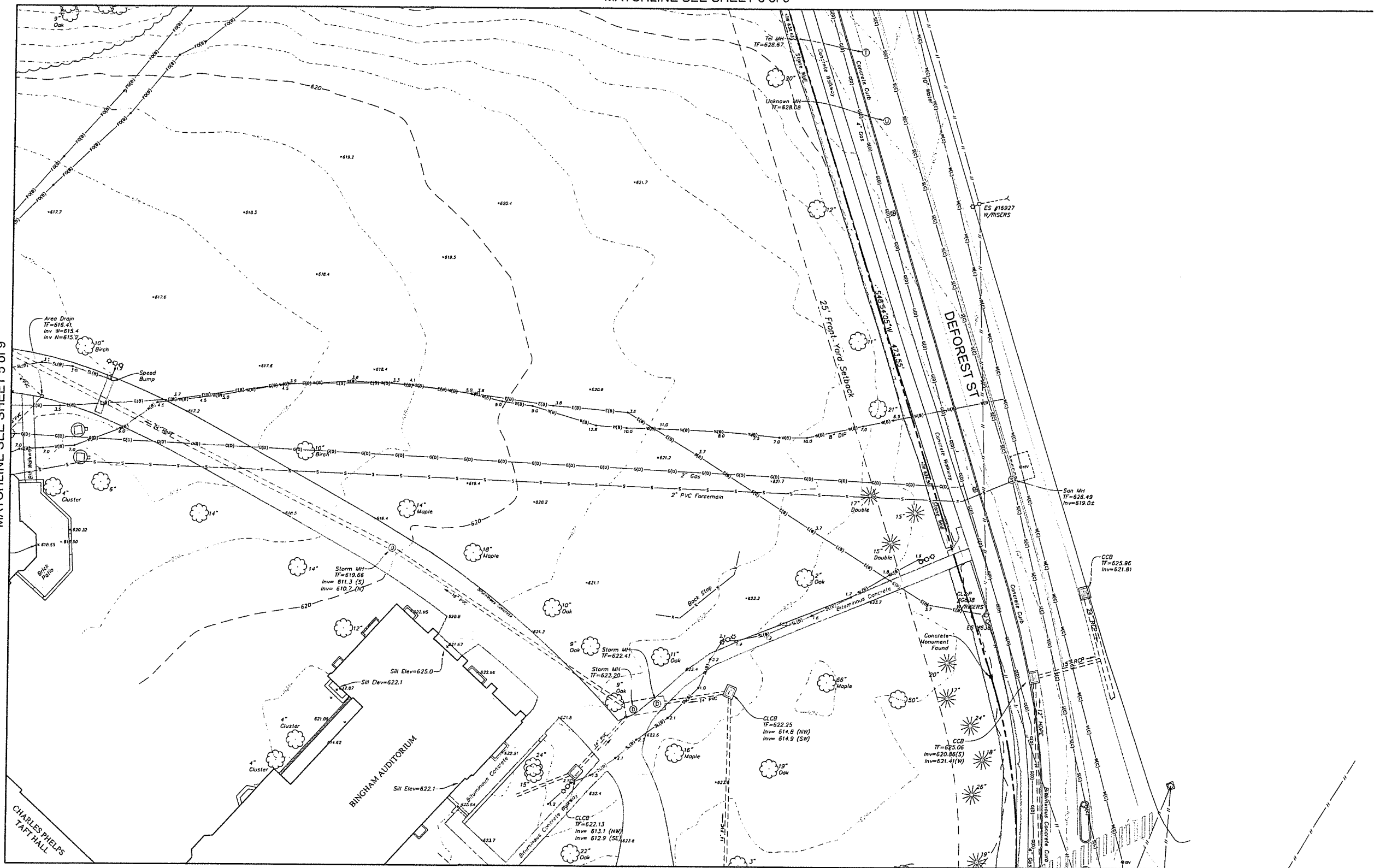
SEE SHEET EX-1 FOR MAP NOTES.

EX-1	EX-2	EX-3
EX-4	EX-5	EX-6
EX-7	EX-8	EX-9

Key Map  
Scale 1"=500'

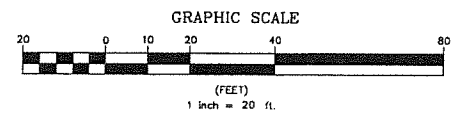
MATCHLINE SEE SHEET 3 of 9

MATCHLINE SEE SHEET 5 of 9



MATCHLINE SEE SHEET 9 of 9

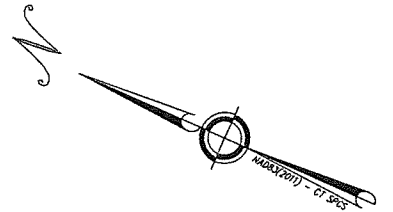
SEE SHEET EX-1 FOR MAP NOTES



<p><b>Legend</b></p> <p>— — — — — Property Line</p> <p>— — — — — Easement Line</p> <p>— — — — — Index Contour</p> <p>— — — — — Intermediate Contour</p> <p>— — — — — Tree Line</p> <p>— — — — — Hedge/Shrub Line</p> <p>— — — — — Stone Wall</p> <p>— — — — — Retaining Wall</p> <p>— — — — — Fence</p> <p>— — — — — Guide Rail</p> <p>— — — — — Stream/Edge of Water</p> <p>— — — — — Limit of Wetlands</p> <p>— — — — — Upland Review/Regulated Area</p> <p>— — — — — Storm Sewer</p> <p>— — — — — Sanitary Sewer</p> <p>— — — — — Water Main</p> <p>— — — — — Gas Main</p>	<p>— — — — — Electric Line</p> <p>— — — — — Telephone Line</p> <p>— — — — — Fiber Optic Line</p> <p>— — — — — Steam Line</p> <p>— — — — — Site Light Line</p> <p>— — — — — Overhead Wire</p> <p>□ Concrete Surface</p> <p>□ Gravel Surface</p> <p>○ Deciduous Tree</p> <p>★ Coniferous Tree</p>	<p>□ Catch Basin</p> <p>□ Curbside Catch Basin</p> <p>○ Shrub</p> <p>□ Monument</p> <p>● Iron Pin, Pipe, Rebar, Drill Hole</p> <p>● WF-6 Wetland Flag</p> <p>— Sign</p> <p>— Ballard</p> <p>— Existing Spot Grade</p> <p>— Guy Wire</p> <p>— Mailbox</p> <p>— Utility Pole</p> <p>— Water Valve</p> <p>— Hydrant</p> <p>— Gas Valve</p> <p>— Handicap Parking</p> <p>— End of Geophysical Information (Signal Lost)</p>	<p>□ Electric Handhole</p> <p>□ Unidentified Handhole</p> <p>□ Irrigation Control Box</p> <p>□ Drainage Manhole</p> <p>□ Sanitary Manhole</p> <p>□ Electric Manhole</p> <p>□ Telephone Manhole</p> <p>□ Paved-Over Manhole</p> <p>□ Manhole, Utility Type Unknown</p> <p>□ Domestic Water Well</p> <p>□ Lamp Post</p> <p>□ Steam Manhole</p> <p>□ Double Light Pole</p> <p>□ New or Formerly (in Title of)</p>
---	---	---	--

**Certification**  
To my knowledge and belief this map is substantially correct as noted hereon.

*John F. Wagenblatt*  
JOHN F. WAGENBLATT L.S. No. 17,791



**LRG**

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- Land Surveying
- Landscape Architecture
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- Subsurface Utility Engineering

Land Resource Consultants  
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Cromwell, CT 06416  
(860) 815-1917

81 Cross Corner Plaza, Suite 204  
Farmington, CT 06030  
(441) 249-2600

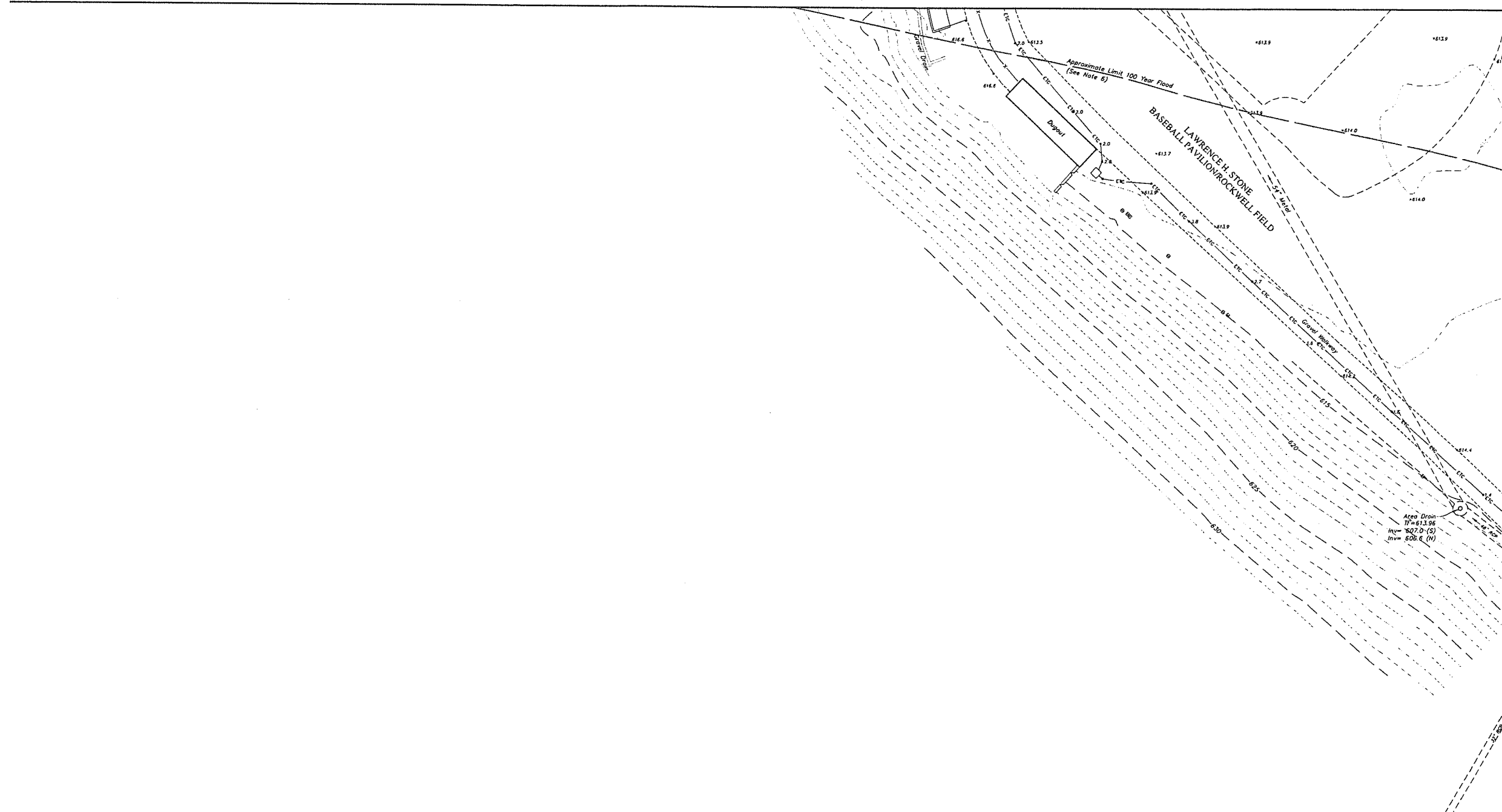
www.lrgconsult.com

<b>TOPOGRAPHIC SURVEY</b>			
SHEET 6 OF 9			
<b>TAFT SCHOOL</b>			
110 WOODBURY ROAD TOWN OF WATERTOWN LITCHFIELD COUNTY, CONNECTICUT			
Design/Calc	JW	CAD File	EX24325801.dwg
Drawn	RW/RN	Project No.	24-3258
Checked	JW	Date	12/12/2025
Approved	JW	Scale	1"=20'

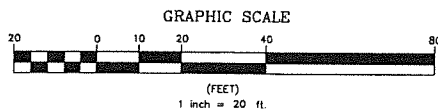
**EX-6**

EX-1	EX-2	EX-3
EX-4	EX-5	EX-6
EX-7	EX-8	EX-9

Key Map  
Scale 1"=500'



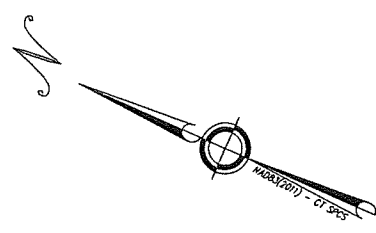
MATCHLINE SEE SHEET 8 of 9



	Property Line
	Easement Line
	Index Contour
	Intermediate Contour
	Treeline
	Hedge/Shrub Line
	Stone Wall
	Retaining Wall
	Fence
	Guide Rail
	Stream/Edge of Water
	Limit of Wetlands
	Upland Review/Regulated Area
	Storm Sewer
	Sanitary Sewer
	Water Main
	Gas Main

**Legend**

	Concrete Surface		Catch Basin		Electric Handhole
	Gravel Surface		Curbless Catch Basin		Unidentified Handhole
	Deciduous Tree		Shrub		Irrigation Control Box
	Coniferous Tree		Manument		Drainage Manhole
			Iron Pin, Pipe, Rebar, Drill Hole		Sanitary Manhole
			Welland Flag		Electric Manhole
			Sign		Telephone Manhole
			Ballard		Paved-Over Manhole
			Existing Spot Grade		Manhole, Utility Type Unknown
			Guy Wire		Domestic Water Well
			Mailbox		Lamp Post
			Utility Pole		Steam Manhole
			Water Valve		Double Light Pole
			Hydrant		Now or Formerly (in Title at)
			Gas Valve		
			Handicap Parking		
			End of Geophysical Information (Signal Lost)		



**Certification**  
To my knowledge and belief this map is substantially correct as noted hereon.

*John F. Wagenblatt*  
JOHN F. WAGENBLATT L.S. No. 17,791



SEE SHEET EX-1 FOR MAP NOTES

<p>• Civil Engineering • Land Surveying • Landscape Architecture • Land Planning • Laser Scanning &amp; BIM • Subsurface Utility Engineering</p> <p>Land Resource Consultants Engineering &amp; Surveying, LLC</p> <p>140 West Street, Suite E Canaan, CT 06040 (860) 633-2877</p> <p>87 Civic Center Plaza, Suite 204 Burlington, VT 05401 (802) 244-2400</p> <p>www.lrcconsult.com</p>	<p><b>TOPOGRAPHIC SURVEY</b></p> <p>SHEET 7 OF 9</p> <p><b>TAFT SCHOOL</b></p> <p>110 WOODBURY ROAD TOWN OF WATERTOWN LITCHFIELD COUNTY, CONNECTICUT</p>																				
	<table border="1"> <tr> <td>Design/Calc</td> <td>JW</td> <td>CAD File</td> <td>EX24325001.dwg</td> <td>Sheet No.</td> <td></td> </tr> <tr> <td>Drawn</td> <td>RW/PH</td> <td>Project No.</td> <td>24-3258</td> <td rowspan="3" style="font-size: 2em; font-weight: bold;">EX-7</td> </tr> <tr> <td>Checked</td> <td>JW</td> <td>Date</td> <td>12/12/2025</td> </tr> <tr> <td>Approved</td> <td>JW</td> <td>Scale</td> <td>1"=20'</td> </tr> </table>	Design/Calc	JW	CAD File	EX24325001.dwg	Sheet No.		Drawn	RW/PH	Project No.	24-3258	EX-7	Checked	JW	Date	12/12/2025	Approved	JW	Scale	1"=20'	
Design/Calc	JW	CAD File	EX24325001.dwg	Sheet No.																	
Drawn	RW/PH	Project No.	24-3258	EX-7																	
Checked	JW	Date	12/12/2025																		
Approved	JW	Scale	1"=20'																		

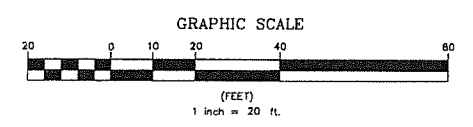
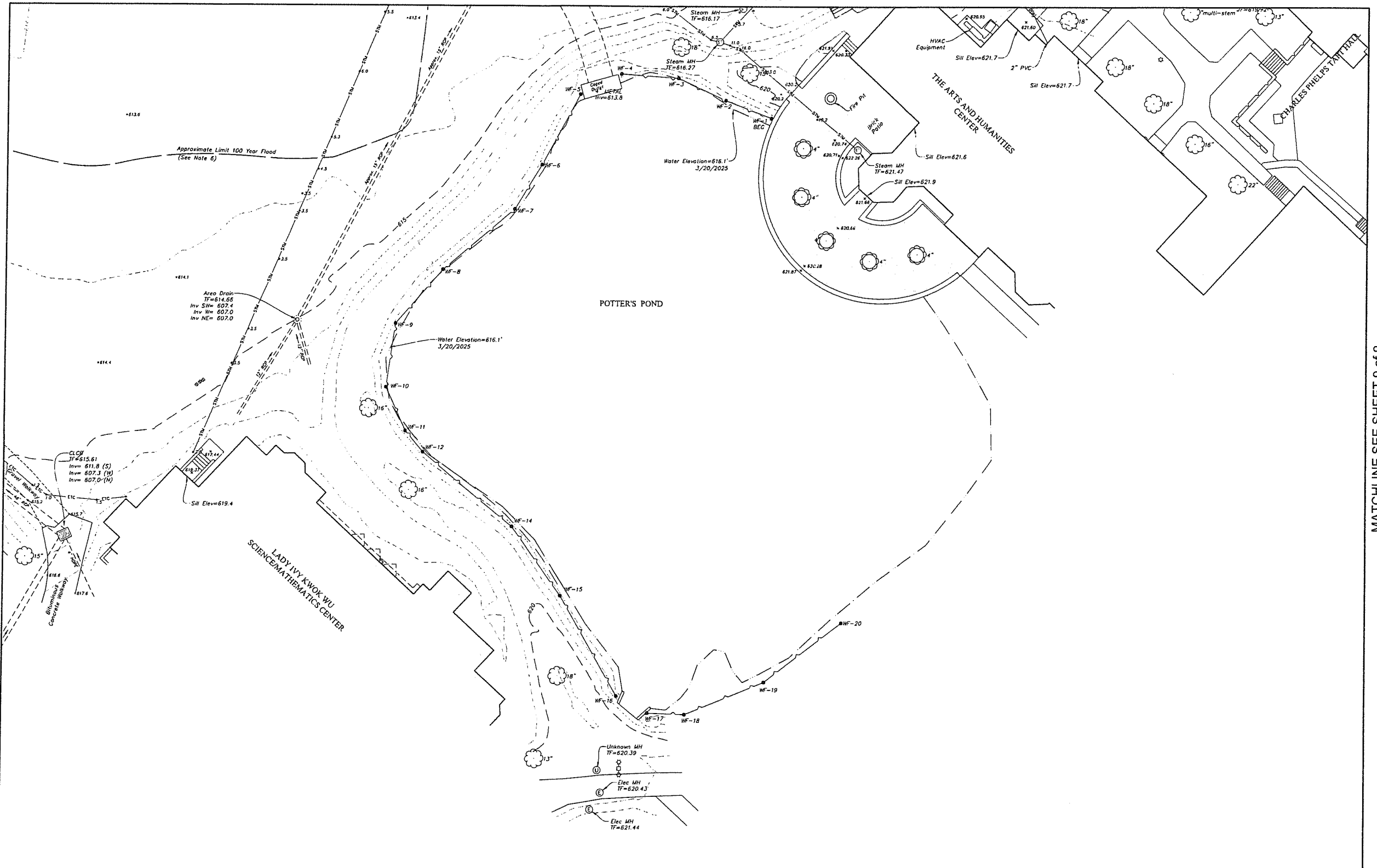
EX-1	EX-2	EX-3
EX-4	EX-5	EX-6
EX-7	EX-8	EX-9

Key Map  
Scale 1"=500'

MATCHLINE SEE SHEET 6 of 9

MATCHLINE SEE SHEET 7 of 9

MATCHLINE SEE SHEET 9 of 9



**Certification**

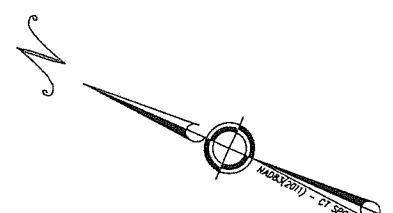
To my knowledge and belief this map is substantially correct as noted hereon.

*John F. Wagenblatt*  
JOHN F. WAGENBLATT L.S. No. 17,791



**Legend**

- |           |                              |           |                  |   |  |   |                               |
|-----------|------------------------------|-----------|------------------|---|--|---|-------------------------------|
| — — — — — | Property Line                | — — — — — | Electric Line    | □ | Catch Basin                                  | □ | Electric Handhole             |
| — — — — — | Easement Line                | — — — — — | Telephone Line   | □ | Curbside Catch Basin                         | □ | Unidentified Handhole         |
| — — — — — | Index Contour                | — — — — — | Fiber Optic Line | □ | Shrub  | □ | Irrigation Control Box        |
| — — — — — | Intermediate Contour         | — — — — — | Steam Line       | □ | Monument                                     | □ | Drainage Manhole              |
| — — — — — | Treeline                     | — — — — — | Site Light Line  | □ | Iron Pin, Pipe, Rebar, Drill Hole            | □ | Sanitary Manhole              |
| — — — — — | Hedge/Shrub Line             | — — — — — | Overhead Wire    | □ | Wetland Flag                                 | □ | Electric Manhole              |
| — — — — — | Stone Wall                   | — — — — — |                  | □ | Sign   | □ | Telephone Manhole             |
| — — — — — | Retaining Wall               | — — — — — |                  | □ | Bollard                                      | □ | Paved-Over Manhole            |
| — — — — — | Fence                        | — — — — — |                  | □ | Existing Spot Grade                          | □ | Manhole, Utility Type Unknown |
| — — — — — | Guide Rail                   | — — — — — |                  | □ | Guy Wire                                     | □ | Domestic Water Well           |
| — — — — — | Stream/Edge of Water         | — — — — — |                  | □ | Mailbox                                      | □ | Lamp Post                     |
| — — — — — | Limit of Wetlands            | — — — — — |                  | □ | Utility Pole                                 | □ | Steam Manhole                 |
| — — — — — | Upland Review/Regulated Area | — — — — — |                  | □ | Water Valve                                  | □ | Double Light Pole             |
| — — — — — | Storm Sewer                  | — — — — — |                  | □ | Hydrant                                      | □ | Now or Formerly (in Title of) |
| — — — — — | Sanitary Sewer               | — — — — — |                  | □ | Gas Valve                                    | □ |                               |
| — — — — — | Water Main                   | — — — — — |                  | □ | Handicap Parking                             | □ |                               |
| — — — — — | Gas Main                     | — — — — — |                  | □ | End of Geophysical Information (Signal Lost) | □ |                               |
| — — — — — |                              | □         | Concrete Surface | □ |  | □ |                               |
| — — — — — |                              | □         | Gravel Surface   | □ |  | □ |                               |
| — — — — — |                              | □         | Deciduous Tree   | □ |  | □ |                               |
| — — — — — |                              | □         | Coniferous Tree  | □ |  | □ |                               |



SEE SHEET EX-1 FOR MAP NOTES.

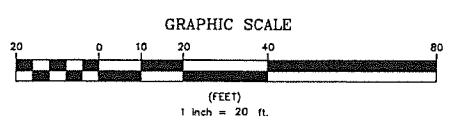
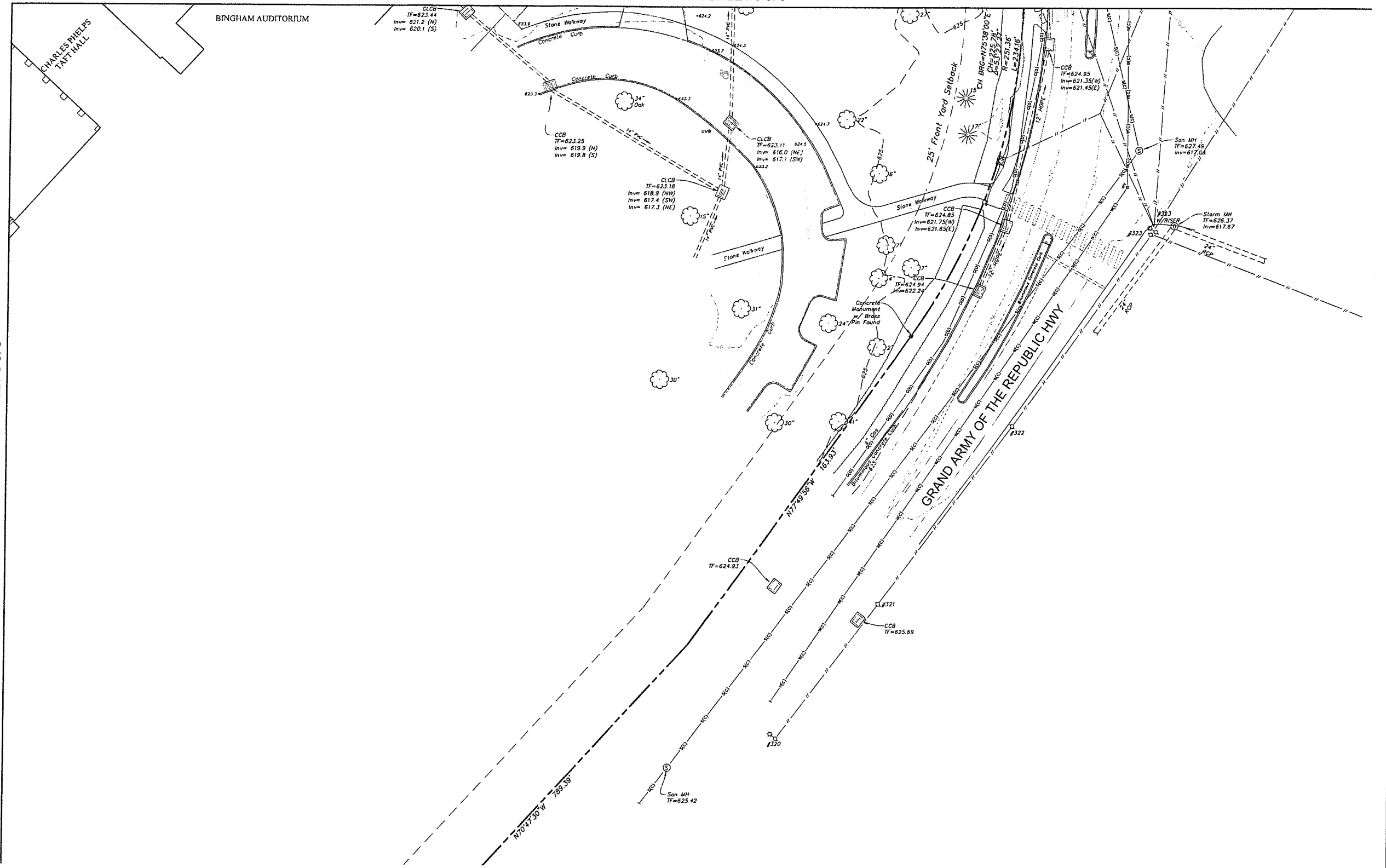
<p>• Civil Engineering • Land Surveying • Landscape Architecture • Land Planning • Laser Scanning &amp; BIM • Subsurface Utility Engineering</p> <p>Land Resource Consultants Engineering &amp; Surveying, LLC 140 West Street, Suite E Cromwell, CT 06414 (860) 655-3477 21 Civic Center Plaza, Suite 204 Farmington, CT 06031 (860) 243-2940 www.lrgconsult.com</p>	<p><b>TOPOGRAPHIC SURVEY</b></p> <p>SHEET 8 OF 9</p> <p><b>TAFT SCHOOL</b></p> <p>110 WOODBURY ROAD TOWN OF WATERTOWN LITCHFIELD COUNTY, CONNECTICUT</p>																					
	<table border="1"> <tr> <td>Design/Calcs</td> <td>JW</td> <td>CAD File</td> <td>EX24325801.dwg</td> <td>Sheet No.</td> </tr> <tr> <td>Drawn</td> <td>RH/RN</td> <td>Project No.</td> <td>24-3258</td> <td></td> </tr> <tr> <td>Checked</td> <td>JW</td> <td>Date</td> <td>12/12/2025</td> <td></td> </tr> <tr> <td>Approved</td> <td>JW</td> <td>Scale</td> <td>1"=20'</td> <td></td> </tr> </table>	Design/Calcs	JW	CAD File	EX24325801.dwg	Sheet No.	Drawn	RH/RN	Project No.	24-3258		Checked	JW	Date	12/12/2025		Approved	JW	Scale	1"=20'		<p><b>EX-8</b></p>
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Drawn	RH/RN	Project No.	24-3258																			
Checked	JW	Date	12/12/2025																			
Approved	JW	Scale	1"=20'																			

EX-1	EX-2	EX-3
EX-4	EX-5	EX-6
EX-7	EX-8	EX-9

Key Map  
Scale 1"=500'

MATCHLINE SEE SHEET 8 of 9

MATCHLINE SEE SHEET 6 of 9



**Certification**

To my knowledge and belief this map is substantially correct as noted hereon.

*John F. Wagenblatt*  
JOHN F. WAGENBLATT L.S. No. 17,791



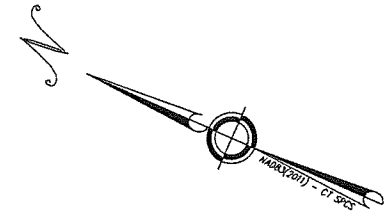
	Property Line
	Easement Line
	Index Contour
	Intermediate Contour
	Tree Line
	Hedge/Shrub Line
	Stone Wall
	Retaining Wall
	Fence
	Guide Rail
	Stream/Edge of Water
	Limit of Wetlands
	Upland Review/Regulated Area
	Storm Sewer
	Sanitary Sewer
	Water Main
	Gas Main

**Legend**

	Electric Line
	Telephone Line
	Fiber Optic Line
	Steam Line
	Site Light Line
	Overhead Wire
	Concrete Surface
	Gravel Surface
	Deciduous Tree
	Coniferous Tree

	Catch Basin
	Curbless Catch Basin
	Shrub
	Monument
	Iron Pin, Pipe, Rebar, Drill Hole
	Welland Flag
	Sign
	Ballard
	Existing Spot Grade
	Guy Wire
	Mailbox
	Utility Pole
	Water Valve
	Hydrant
	Gas Valve
	Handicap Parking
	End of Geophysical Information (Signal Lost)

	Electric Handhole
	Unidentified Handhole
	Irrigation Central Box
	Drainage Manhole
	Sanitary Manhole
	Electric Manhole
	Telephone Manhole
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	Manhole, Utility Type Unknown
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	Lamp Post
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	Double Light Pole
	Now or Formerly (in Title at)



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Farmington, CT 06031  
(413) 243-9960  
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SEE SHEET EX-1 FOR MAP NOTES.

**TOPOGRAPHIC SURVEY**

SHEET 9 of 9

**TAFT SCHOOL**

110 WOODBURY ROAD  
TOWN OF WATERTOWN  
LITCHFIELD COUNTY, CONNECTICUT

Design/Calc	JW	CAD File	EX24325801.dwg	Sheet No.
Drawn	RJ/RN	Project No.	24-3258	
Checked	JW	Date	12/12/2025	
Approved	JW	Scale	1"=20'	

**EX-9**



**Student Dormitory  
The Taft School**

110 Waterbury Rd  
Watertown, CT 06795

**ARCHITECT**  
Voith & MacLavin Architects LLP  
2401 Walnut Street, 6th Floor  
Philadelphia, PA 19103  
phone 215-545-4544  
voithandmacLavin.com

**STRUCTURAL ENGINEER**  
Keast & Hood  
1635 Market St. #1705  
Philadelphia, PA 19103  
phone 215-625-0099

**MEP ENGINEER**  
Kohler Ronan Consulting Engineers  
93 Lake Ave  
Danbury, CT 06810  
phone 203-778-1017

**CIVIL ENGINEER**  
Land Resource Consultants Engineering  
& Surveying, LLC  
160 West St Suite E  
Cromwell, CT 06416  
phone 860-635-2377

**LANDSCAPE DESIGN**  
TL Studio  
110 King Philip Rd Unit 2A  
Rumford, RI 02916  
phone 401-383-3574

**AV / IT / SECURITY**  
NVS  
1515 Walnut ST #900  
Philadelphia, PA 19107  
phone 215-751-1133

**LIGHTING DESIGN**  
O'Donohoe Lighting  
1816 S. 2nd St  
Philadelphia, PA 19148  
phone 215-518-4788

**ZONING SUBMISSION  
NOT FOR CONSTRUCTION**

Revision  
Date January 21, 2026  
Title Overall Landscape Plan

Scale 1" = 60'-0"  
Drawn By YZ GS

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.

**Student Dormitory  
The Taft School**

110 Waterbury Rd  
Watertown, CT 06795

**ARCHITECT**

Voith & Mactavish Architects LLP  
2401 Walnut Street, 6th Floor  
Philadelphia, PA 19103  
phone 215-545-4544  
voithandmactavish.com

**STRUCTURAL ENGINEER**

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Philadelphia, PA 19103  
phone 215-625-0099

**MEP ENGINEER**

Kohler Roman Consulting Engineers  
93 Lake Ave  
Danbury, CT 06810  
phone 203-778-1017

**CIVIL ENGINEER**

Land Resource Consultants Engineering  
& Surveying, LLC  
160 West St Suite E  
Cromwell, CT 06416  
phone 860-635-2877

**LANDSCAPE DESIGN**

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Rumford, RI 02916  
phone 401-333-3574

**AV / IT / SECURITY**

NVS  
1315 Walnut St #900  
Philadelphia, PA 19107  
phone 215-751-1133

**LIGHTING DESIGN**

O'Donohoe Lighting  
1816 S. 2nd St  
Philadelphia, PA 19148  
phone 215-518-4788

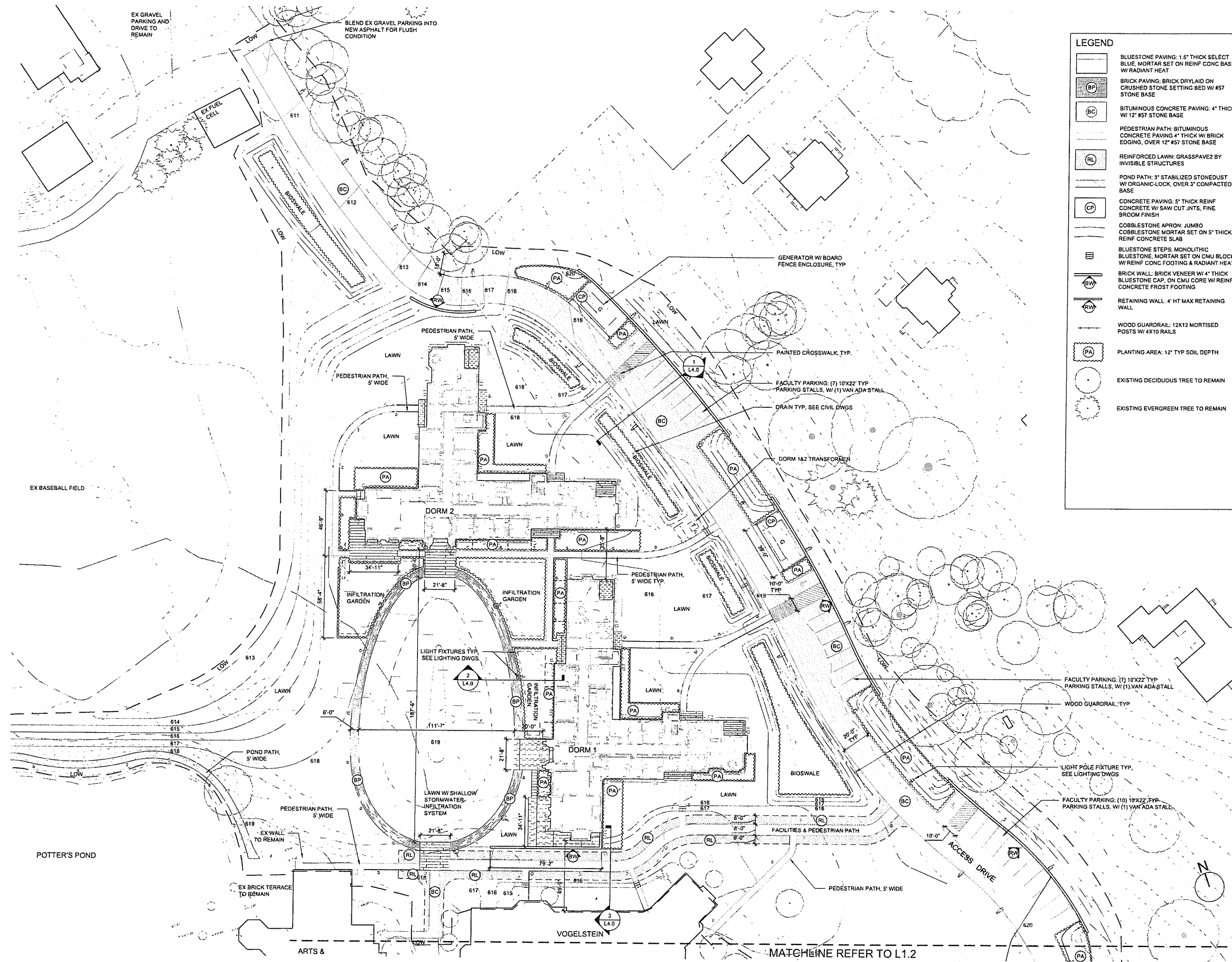
**ZONING SUBMISSION**

NOT FOR CONSTRUCTION

Revision  
Date January 21, 2026  
Title Dorm 1&2  
Layout & Material Plan

Scale 1" = 30'-0"  
Drawn By YZ, GS

Contractor to verify all dimensions in field and inform  
Architect of any discrepancies before starting work.



MATCHLINE REFER TO L1.2



Student Dormitory  
The Taft School

110 Waterbury Rd  
Watertown, CT 06795

ARCHITECT  
Voith & Mactavish Architects LLP  
2401 Walnut Street, 6th Floor  
Philadelphia, PA 19103  
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STRUCTURAL ENGINEER  
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Philadelphia, PA 19103  
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Cromwell, CT 06416  
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LANDSCAPE DESIGN  
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110 King Philip Rd Unit 2A  
Rumford, RI 02916  
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Philadelphia, PA 19107  
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LIGHTING DESIGN  
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1816 S. 2nd St  
Philadelphia, PA 19148  
phone 215-518-4788

ZONING SUBMISSION  
NOT FOR CONSTRUCTION

Revision  
Date January 21, 2026  
Title Dorm 1&2  
Grading Plan

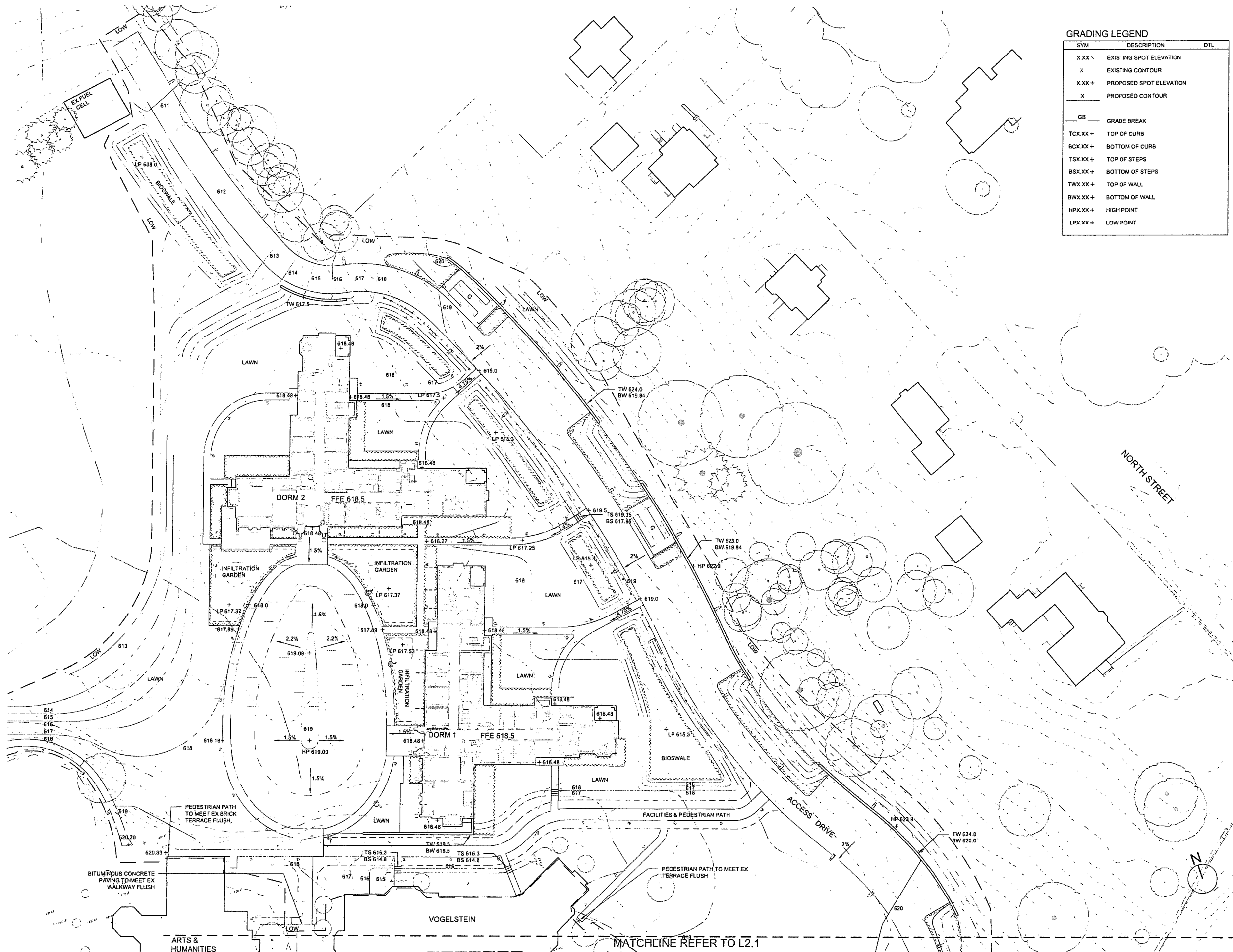
Scale 1" = 30'-0"  
Drawn By YZ, GS

2.0

Consultor to verify all dimensions in field and inform Architect of any discrepancies before starting work.

GRADING LEGEND

SYM	DESCRIPTION	DTL
X.XX ~	EXISTING SPOT ELEVATION	
X	EXISTING CONTOUR	
X.XX +	PROPOSED SPOT ELEVATION	
X	PROPOSED CONTOUR	
GB	GRADE BREAK	
TCX.XX +	TOP OF CURB	
BCX.XX +	BOTTOM OF CURB	
TSX.XX +	TOP OF STEPS	
BSX.XX +	BOTTOM OF STEPS	
TWX.XX +	TOP OF WALL	
BWX.XX +	BOTTOM OF WALL	
HPX.XX +	HIGH POINT	
LPX.XX +	LOW POINT	



MATCHLINE REFER TO L2.1

**Student Dormitory  
The Taft School**

110 Waterbury Rd  
Watertown, CT 06795

**ARCHITECT**  
Voith & Mactavish Architects LLP  
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Philadelphia, PA 19107  
phone 215-751-1133

**LIGHTING DESIGN**  
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Philadelphia, PA 19148  
phone 215-518-4788

**ZONING SUBMISSION  
NOT FOR CONSTRUCTION**

Revision  
Date January 21, 2026  
Title Main Circle Grading Plan

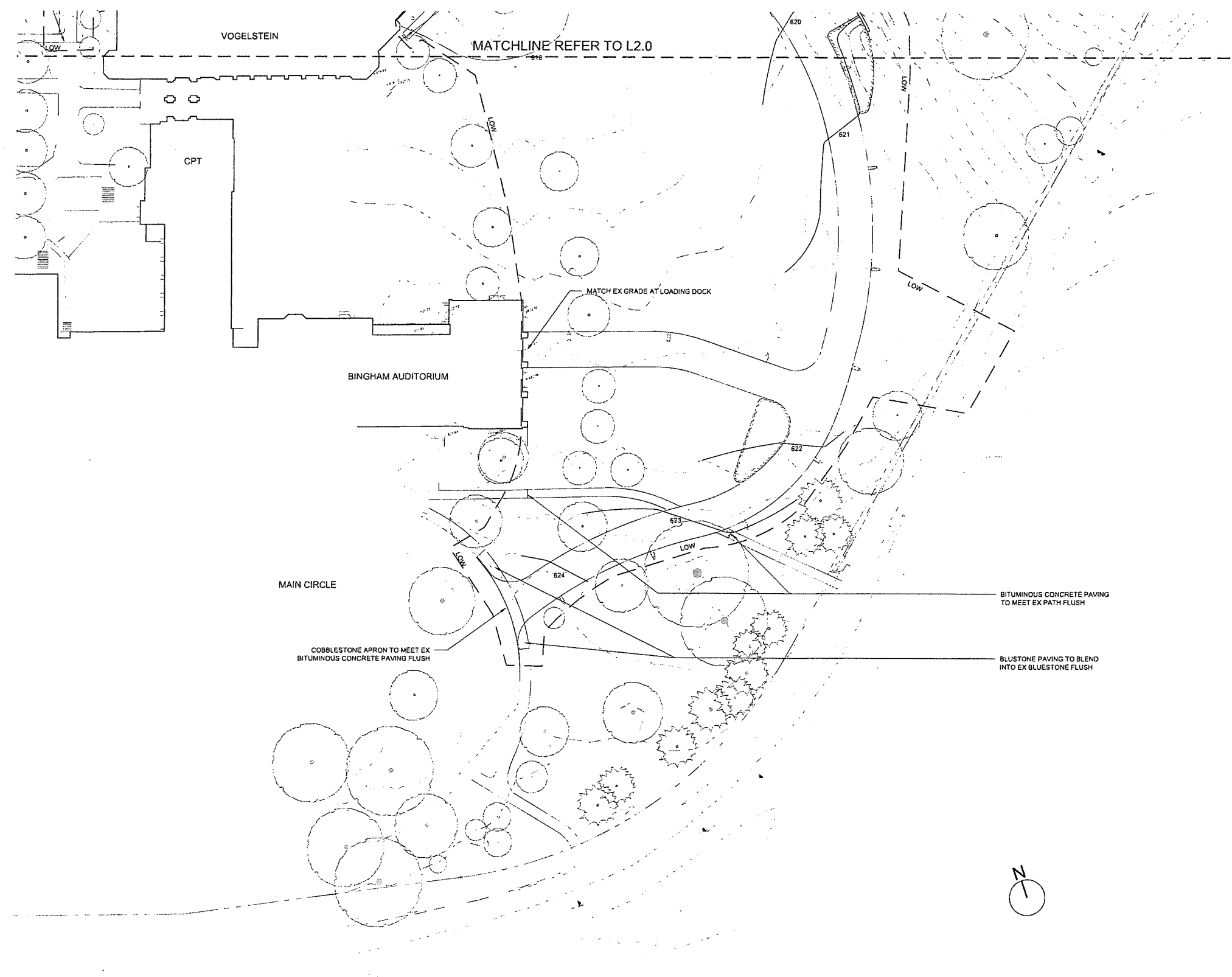
Scale 1" = 30'-0"  
Drawn By YZ, GS

2

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.

**GRADING LEGEND**

SYM	DESCRIPTION	DTL
X.XX \	EXISTING SPOT ELEVATION	
X	EXISTING CONTOUR	
X.XX +	PROPOSED SPOT ELEVATION	
X	PROPOSED CONTOUR	
GB	GRADE BREAK	
TCX.XX +	TOP OF CURB	
BCX.XX +	BOTTOM OF CURB	
TSX.XX +	TOP OF STEPS	
BSX.XX +	BOTTOM OF STEPS	
TWX.XX +	TOP OF WALL	
BWX.XX +	BOTTOM OF WALL	
HPX.XX +	HIGH POINT	
LPX.XX +	LOW POINT	





SYMBOL	TYPE	SPECIES
	DECIDUOUS TREE 5-6' CAL (61)	<i>Acer saccharum</i> <i>Liriodendron tulipifera</i> <i>Quercus alba</i> <i>Quercus rubra</i> <i>Tilia americana</i> <i>Ulmus americana</i> 'Princeton'
	EVERGREEN TREE 8-10' HT (12)	<i>Ilex opaca</i> <i>Juniperus virginiana</i> <i>Pinus resinosa</i> <i>Pinus strobus</i>
	DECIDUOUS TREE 3-3.5' CAL (32)	<i>Acer rubrum</i> <i>Betula alleghaniensis</i> <i>Nyssa sylvatica</i>
	FLOWERING TREE 8-10' HT (56)	<i>Amelanchier</i> <i>Cercis canadensis</i> <i>Cornus florida</i> <i>Magnolia virginiana</i>
	INFILTRATION GARDEN PLANT MATERIAL	<i>Arcostaphylos uva-ursi</i> <i>Aronia melanocarpa</i> <i>Carex pensylvanica</i> <i>Dennstaedtia punctilobula</i> <i>Ostrya virginiana</i> <i>Polystichum acrostichoides</i>
	BIOSWALE PLANT MATERIAL	<i>Aronia melanocarpa</i> <i>Eutrochium purpureum</i> <i>Ilex verticillata</i> <i>Panicum virgatum</i>
	SHRUB & GROUNDCOVER	<i>Carex pensylvanica</i> <i>Ilex verticillata</i> <i>Liriope spicata</i> <i>Pachysandra terminalis</i> <i>Rhus aromatica</i> 'Gro-Low'

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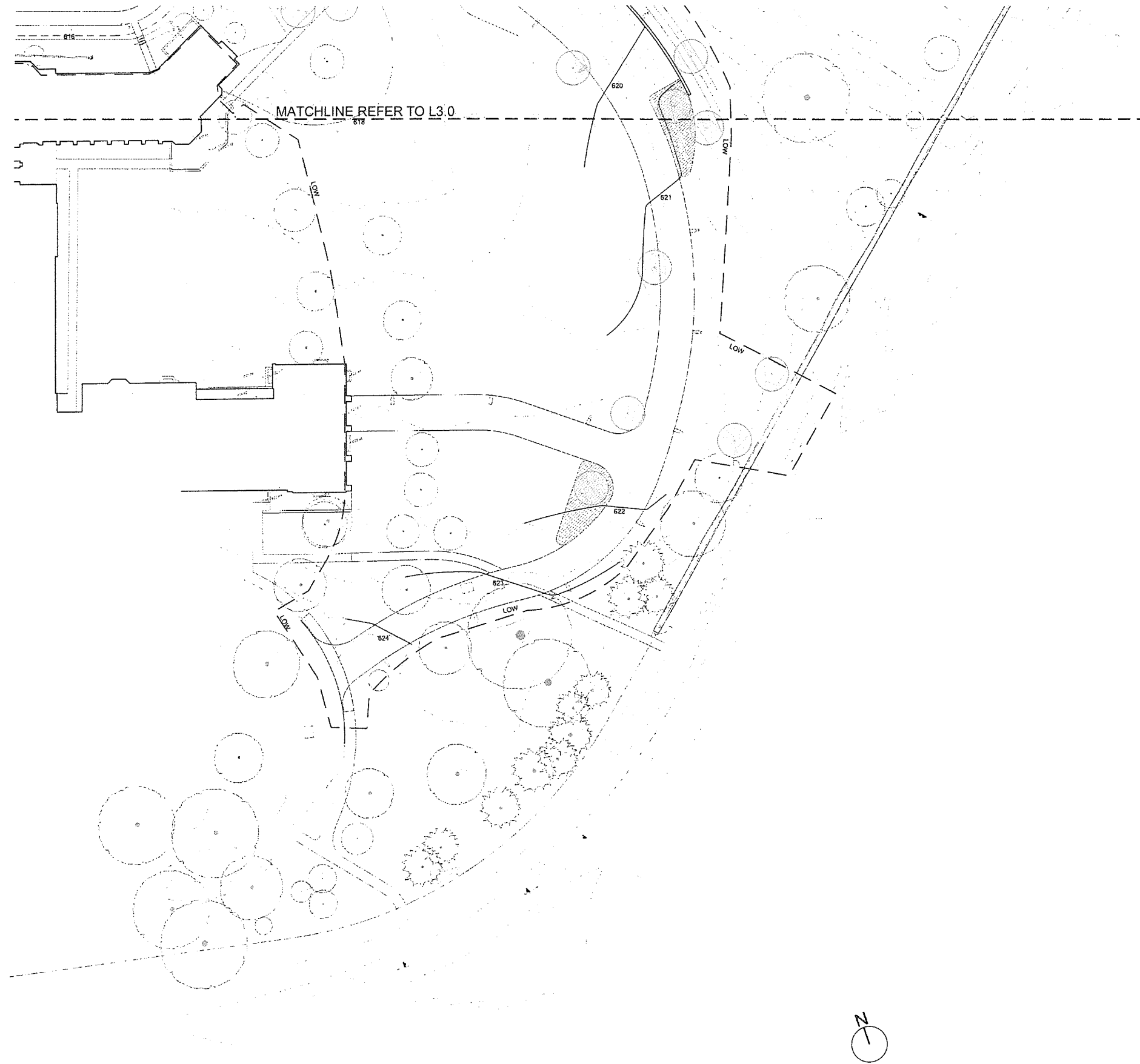
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NOT FOR CONSTRUCTION**

Revision  
Date January 21, 2026  
Title Dorm 152  
Planting Plan

Scale 1" = 30'-0"  
Drawn By YZ, GS

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.

MATCHLINE REFER TO L3.1



SYMBOL	TYPE	SPECIES
	DECIDUOUS TREE 5-6" CAL (61)	<i>Acer saccharum</i> <i>Liriodendron tulipifera</i> <i>Quercus alba</i> <i>Quercus rubra</i> <i>Tilia americana</i> <i>Ulmus americana</i> 'Princeton'
	EVERGREEN TREE 8-10' HT (12)	<i>Ilex opaca</i> <i>Juniperus virginiana</i> <i>Pinus resinosa</i> <i>Pinus strobus</i>
	DECIDUOUS TREE 3-3.5" CAL (32)	<i>Acer rubrum</i> <i>Betula alleghaniensis</i> <i>Nyssa sylvatica</i>
	FLOWERING TREE 8-10' HT (56)	<i>Amelanchier</i> <i>Cercis canadensis</i> <i>Cornus florida</i> <i>Magnolia virginiana</i>
	INFILTRATION GARDEN PLANT MATERIAL	<i>Aristolaphytos uva-ursi</i> <i>Aronia melanocarpa</i> <i>Carex pensylvanica</i> <i>Dennstaedtia punctilobula</i> <i>Ostrya virginiana</i> <i>Polystichum acrostichoides</i>
	BIOSWALE PLANT MATERIAL	<i>Aronia melanocarpa</i> <i>Eutrochium purpureum</i> <i>Ilex verticillata</i> <i>Panicum virgatum</i>
	SHRUB & GROUNDCOVER	<i>Carex pensylvanica</i> <i>Ilex verticillata</i> <i>Liriope spicata</i> <i>Pachysandra terminalis</i> <i>Rhus aromatica</i> 'Gro-Low'

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Title Main Circle  
Planting Plan

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Drawn By YZ, GS

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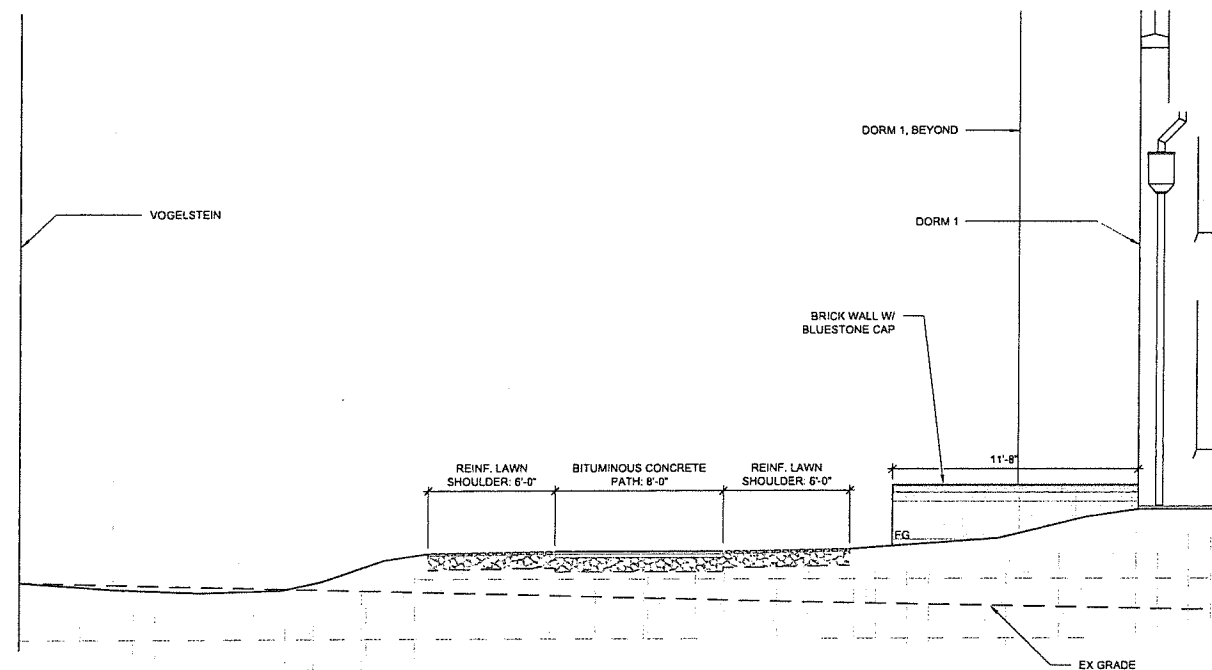
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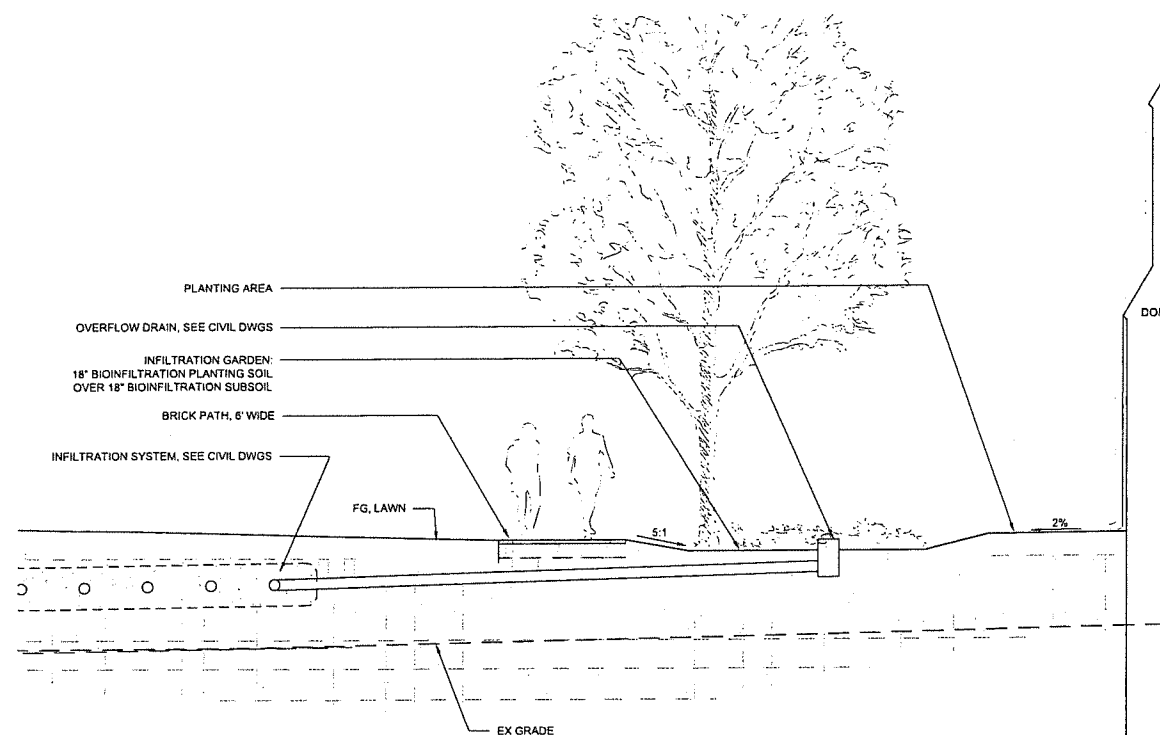
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Revision  
Date January 21, 2026  
Title Sections

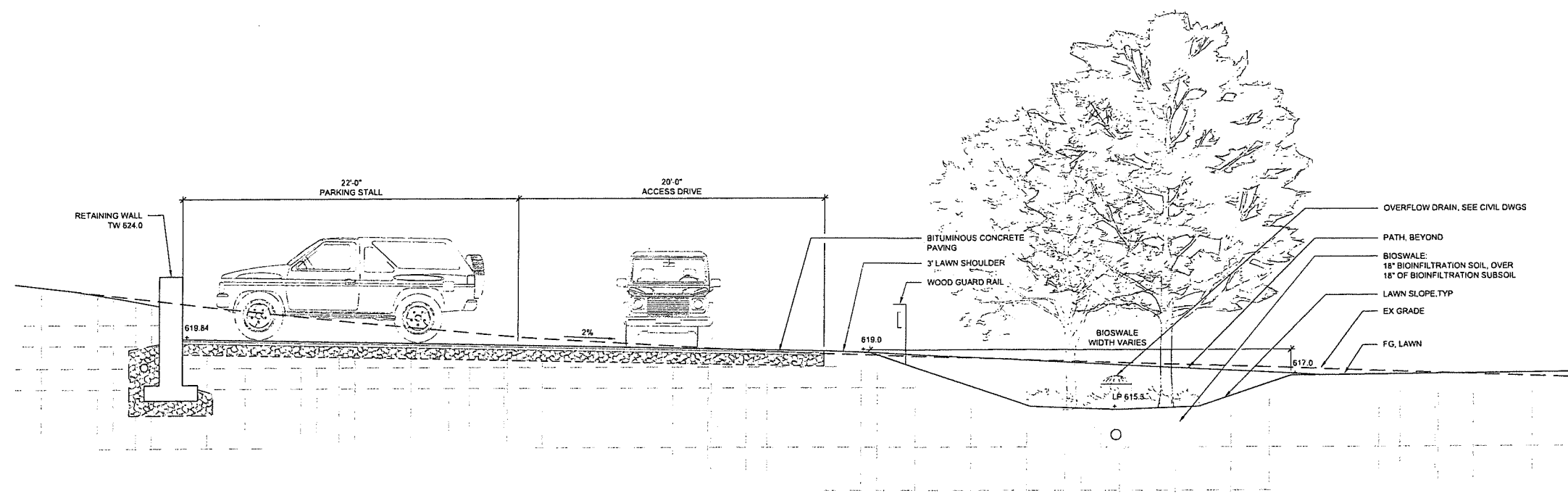
Scale As Noted  
Drawn By YZ, GS



3 PATH W/ REINFORCED LAWN SHOULDER  
1/4"=1'-0"



2 INFILTRATION GARDEN SECTION  
1/4"=1'-0"



1 BIOSWALE & DRIVEWAY SECTION  
1/4"=1'-0"

4.0

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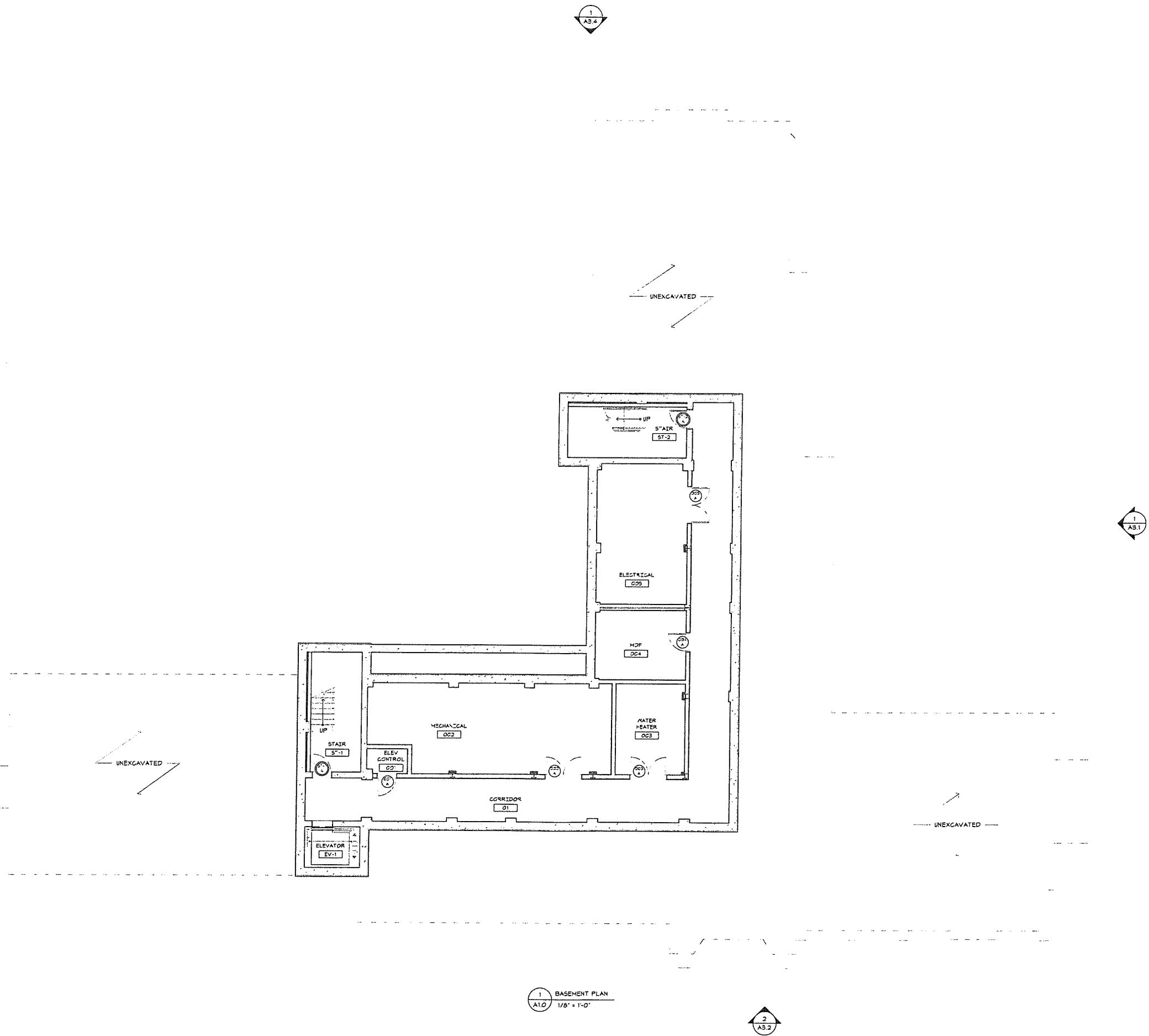
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Revision  
Date January 21, 2026  
Title BASEMENT FLOOR  
PLAN  
Scale As indicated  
Drawn By RPD, JT, JPS

A1.0

Contractor to verify all dimensions in field and inform  
Architect of any discrepancies before starting work



1 BASEMENT PLAN  
A1.0 1/8" = 1'-0"

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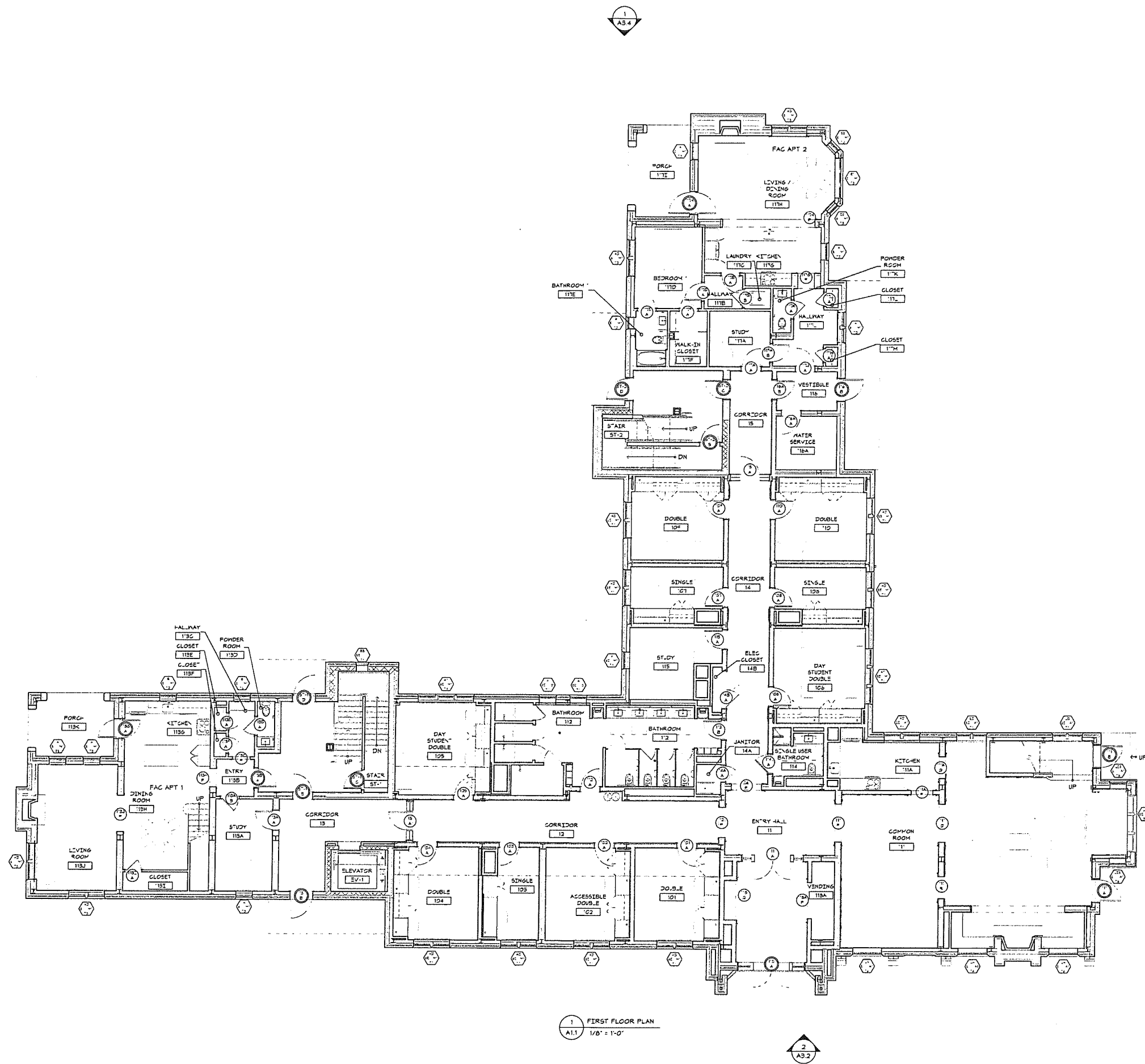
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Revision  
Date January 21, 2026  
Title FIRST FLOOR PLAN

Scale As indicated  
Drawn By RPD, JT, JPS

A1.1

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.



1 FIRST FLOOR PLAN  
A1.1  
1/8" = 1'-0"



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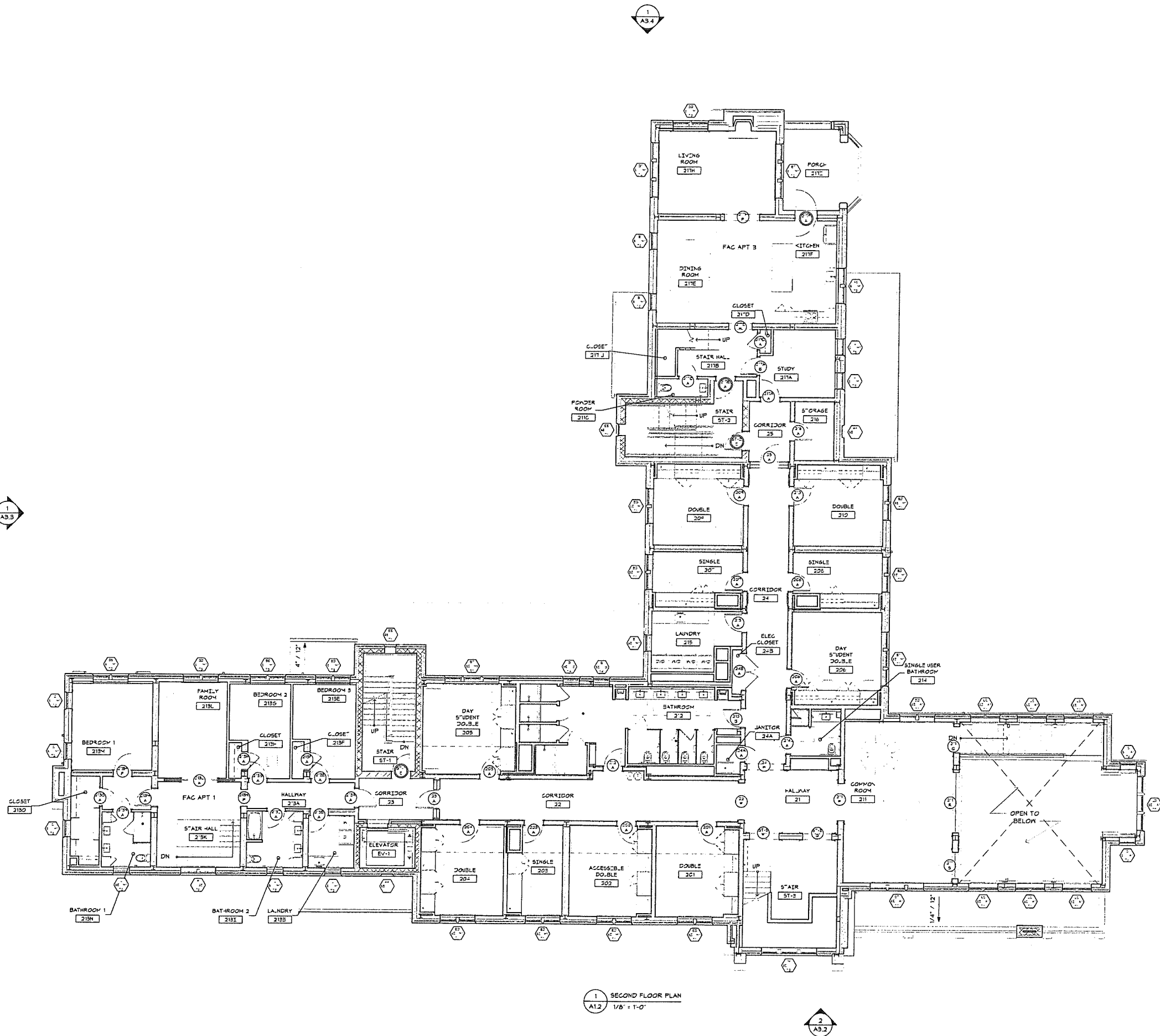
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Revision  
Date January 21, 2026  
Title SECOND FLOOR PLAN  
Scale As indicated  
Drawn By RPD, JT, JPS

A1.2

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work



1 SECOND FLOOR PLAN  
A1.2  
1/8" = 1'-0"

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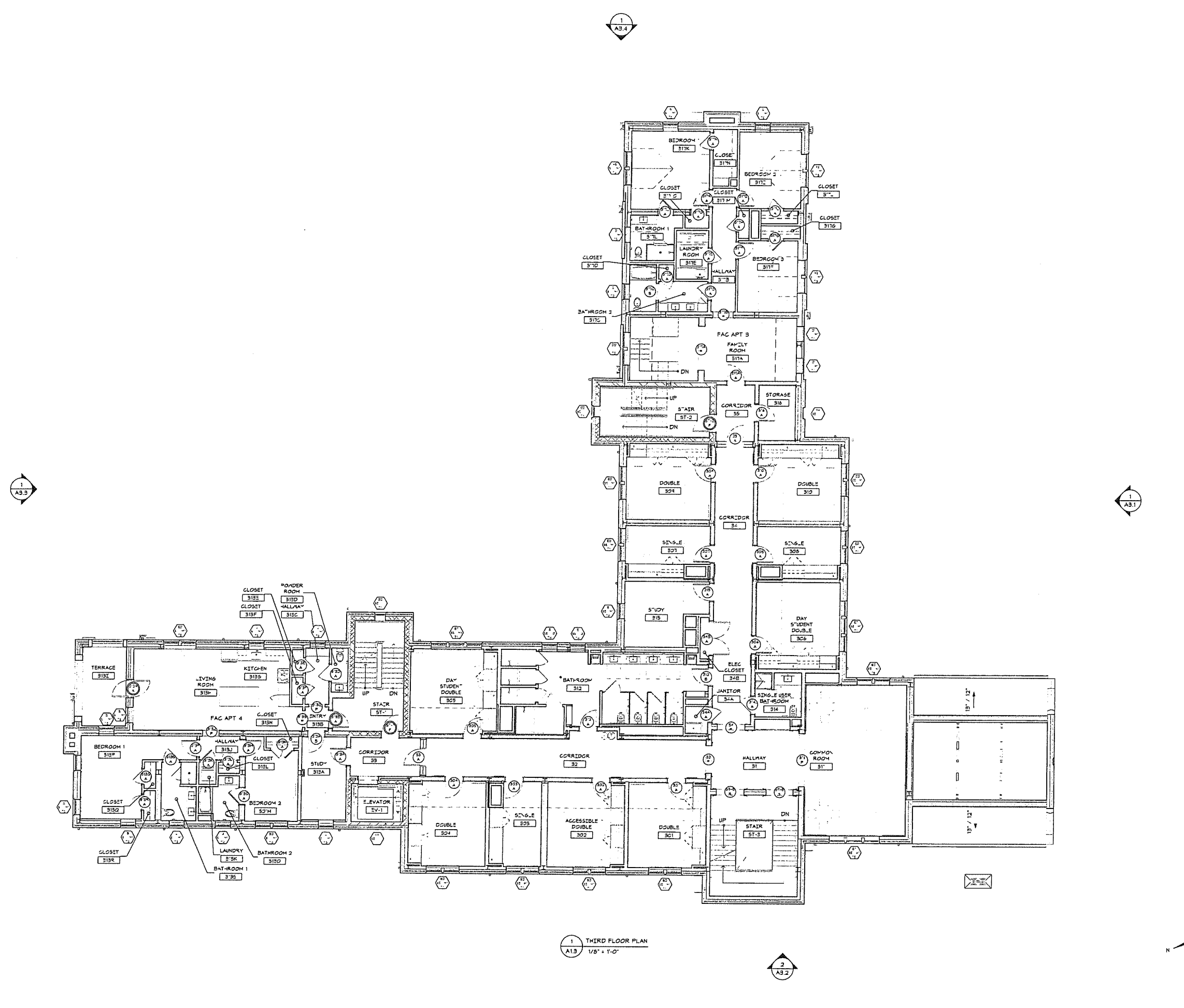
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Revision  
Date January 21, 2026  
Title THIRD FLOOR PLAN

Scale As indicated  
Drawn By RPD, JT, JPS

A1.3

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work



1 THIRD FLOOR PLAN  
A1.3 1/8" = 1'-0"

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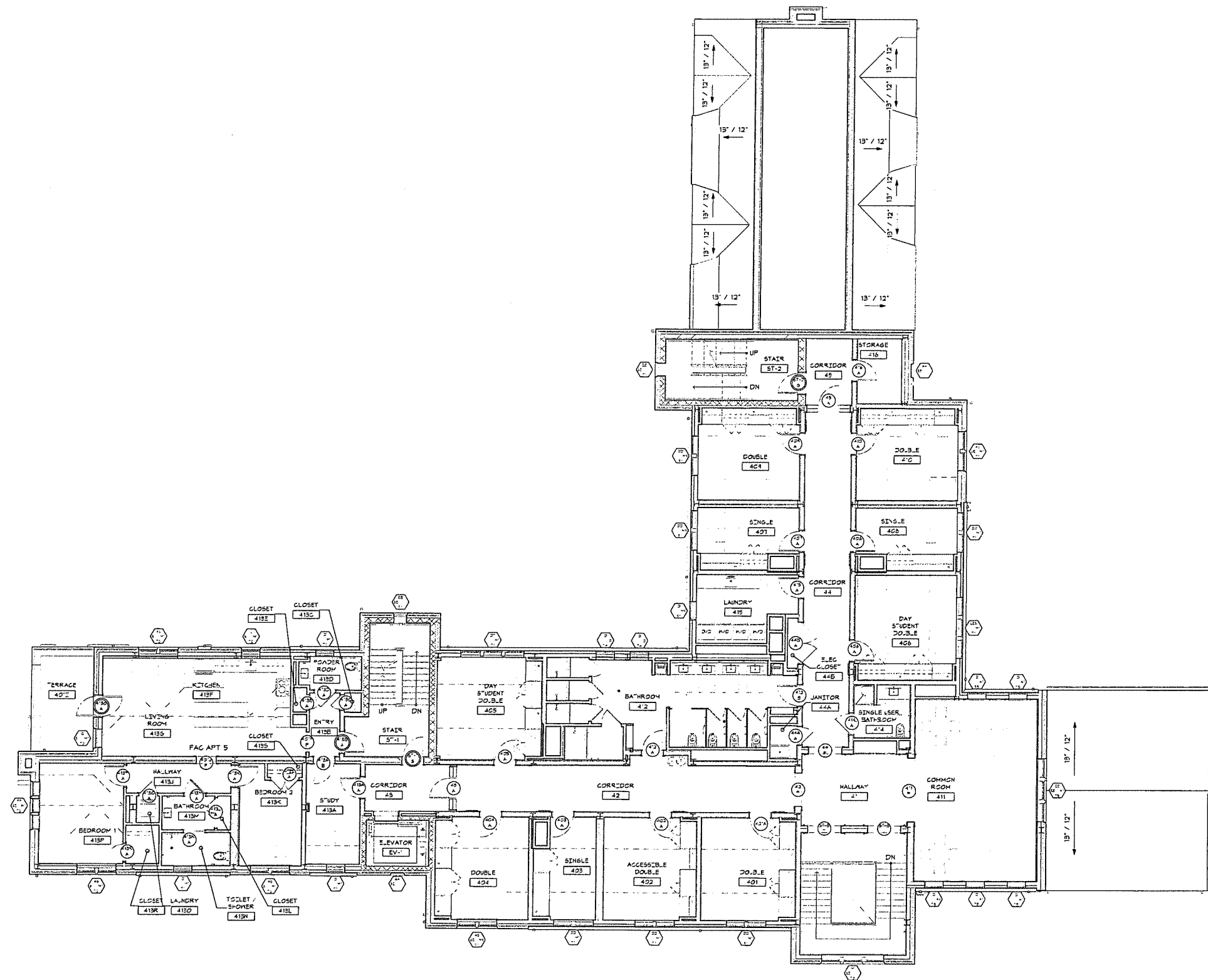
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Revision  
Date January 21, 2026  
Title FOURTH FLOOR  
PLAN  
Scale As indicated  
Drawn By RPD, JT, JPS

A1.4

Contractor to verify all dimensions in field and inform  
Architect of any discrepancies before starting work.



1 FOURTH FLOOR PLAN  
A1.4 1/8" = 1'-0"

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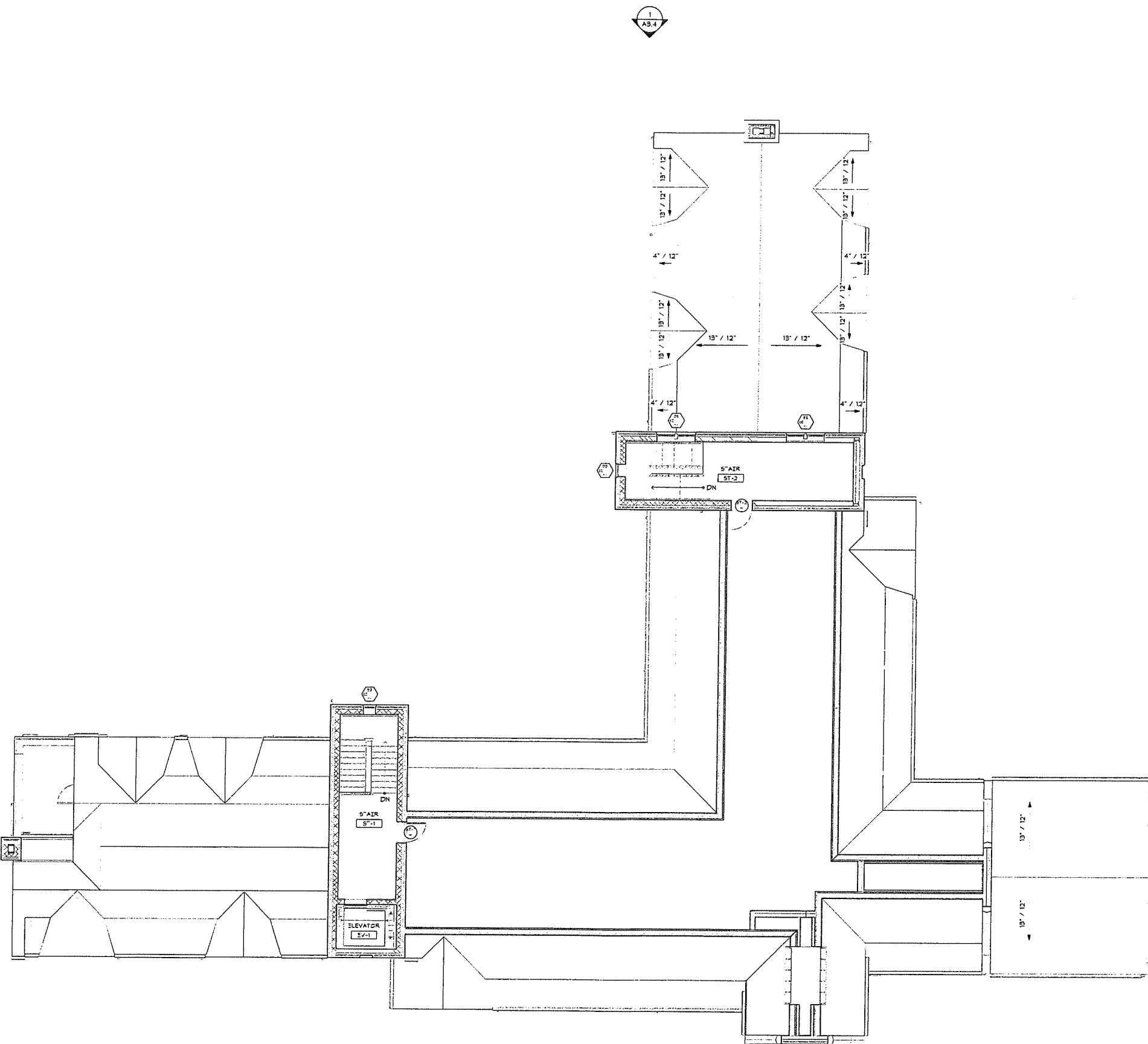
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Revision  
Date January 21, 2026  
Title ATTIC FLOOR PLAN

Scale As indicated  
Drawn By RPD, JT, JPS

A1.5

Contractor to verify all dimensions on field and inform Architect of any discrepancies before starting work



1 ATTIC PLAN  
A1.5 1/8" = 1'-0"



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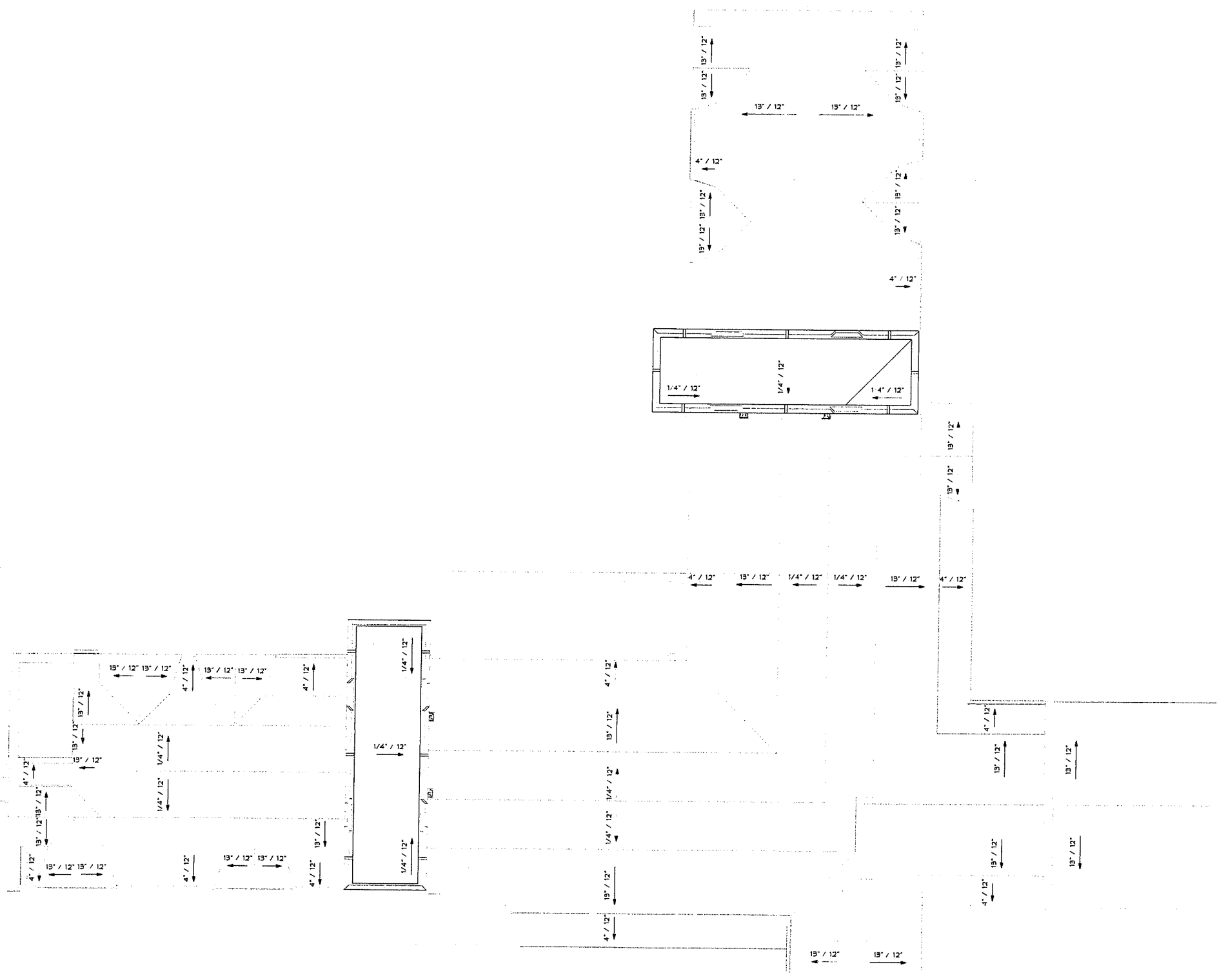
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Revision  
Date January 21, 2026  
Title ROOF PLAN

Scale As indicated  
Drawn By RPD, JT, JPS

A1.6

Contractor to verify all dimensions in field and inform  
Architect of any discrepancies before starting work.



1 ROOF PLAN  
A1.6  
1/8" = 1'-0"

2  
A3.2

GENERAL NOTE:  
FINISH FLOOR ELEVATION OF THE FIRST FLOOR  
(0'-0") IS AT 618.5'. REFER TO CIVIL & LANDSCAPE  
DRAWINGS

**EXTERIOR ENVELOPE NOTES:**

- DOORS: PROVIDE 2 1/4" STAINED MAHOGANY  
STILE-AND-RAIL DOORS W/ PANEL PATTERN AS  
SHOWN. INCLUDE STAINED WOOD MULLIONS AND  
TRANSOMS WHERE INDICATED. PROVIDE FAUX  
LEADED GLAZING AT LITES WHERE SHOWN.  
HARDWARE TO BE STEEL HISTORIC REPLICA.
- WINDOWS: THERMALLY BROKEN STEEL CASEMENT  
WINDOWS WITH FAUX LEADED GLAZING. BASIS OF  
DESIGN: HOPE'S.
- BRICK VENEER: MATCH COLOR AND AGGREGATE OF  
BRICK USED ON CHARLES PHELPS TAFT HALL

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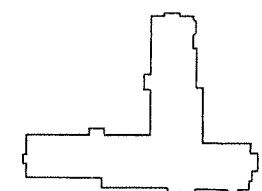
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Revision  
Date January 21, 2026  
Title ELEVATIONS

Scale As indicated  
Drawn By RPD, JT, JPS

**A3.1**

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Architect of any discrepancies before clearing work.



GENERAL NOTE:  
FINISH FLOOR ELEVATION OF THE FIRST FLOOR  
(0'-0") IS AT 610.5'. REFER TO CIVIL & LANDSCAPE  
DRAWINGS

EXTERIOR ENVELOPE NOTES:

1. DOORS: PROVIDE 2 1/4" STAINED MAHOGANY  
STILE-AND-RAIL DOORS W/ PANEL PATTERN AS  
SHOWN. INCLUDE STAINED WOOD MULLIONS AND  
TRANSOMS WHERE INDICATED. PROVIDE FAUX  
LEADED GLAZING AT LITES WHERE SHOWN.  
HARDWARE TO BE STEEL HISTORIC REPLICA.
2. WINDOWS: THERMALLY BROKEN STEEL CASEMENT  
WINDOWS WITH FAUX LEADED GLAZING, BASIS OF  
DESIGN: HOPE'S
3. BRICK VENEER: MATCH COLOR AND AGGREGATE OF  
BRICK USED ON CHARLES PHELPS TAFT HALL.

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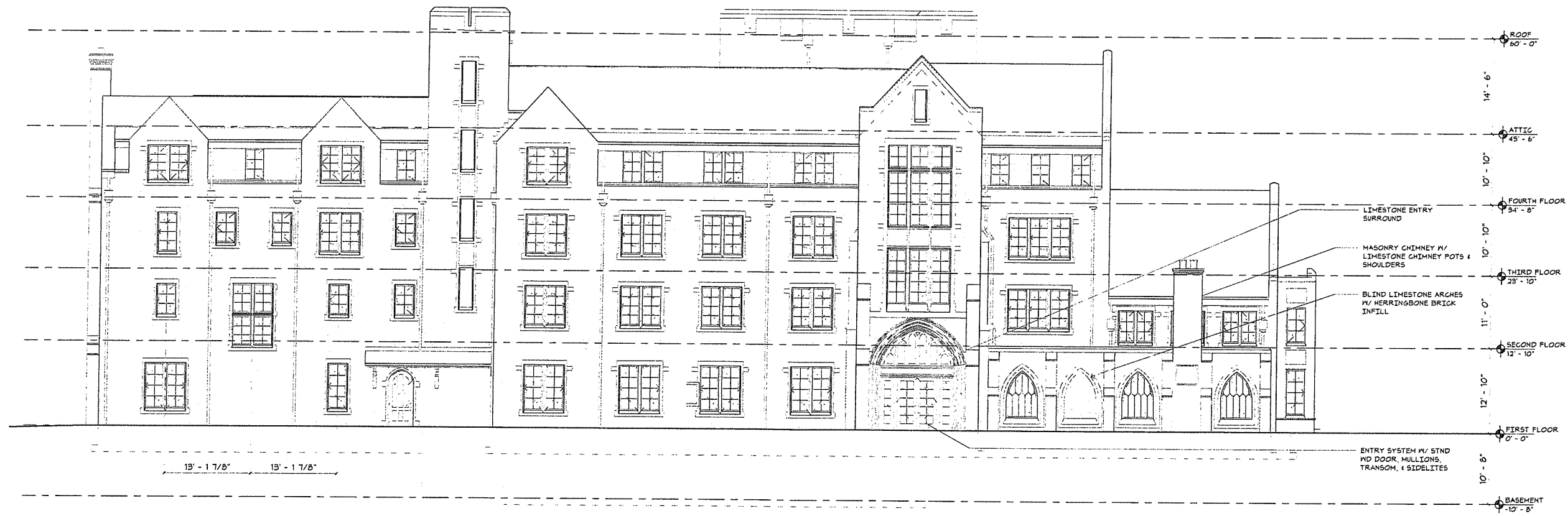
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NOT FOR CONSTRUCTION

Revision  
Date January 21, 2026  
Title ELEVATIONS

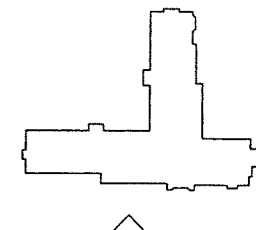
Scale As indicated  
Drawn By RPD, JT, JPS

A3.2

Contractor to verify all dimensions in field and inform  
Architect of any discrepancies before starting work



2 WEST ELEVATION  
A3.2 1/8" = 1'-0"



**GENERAL NOTE:**  
FINISH FLOOR ELEVATION OF THE FIRST FLOOR (0'-0") IS AT 618.5'. REFER TO CIVIL & LANDSCAPE DRAWINGS

**EXTERIOR ENVELOPE NOTES:**

1. DOORS: PROVIDE 2 1/4" STAINED MAHOGANY STYLE-AND-RAIL DOORS w/ PANEL PATTERN AS SHOWN. INCLUDE STAINED WOOD MULLIONS AND TRANSOMS WHERE INDICATED. PROVIDE FAUX LEADED GLAZING AT LITES WHERE SHOWN. HARDWARE TO BE STEEL HISTORIC REPLICA.
2. WINDOWS: THERMALLY BROKEN STEEL CASEMENT WINDOWS WITH FAUX LEADED GLAZING. BASIS OF DESIGN: HOMES
3. BRICK VENEER: MATCH COLOR AND AGGREGATE OF BRICK USED ON CHARLES PHELPS TAFT HALL.

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Revision  
Date: January 21, 2026  
Title: ELEVATIONS

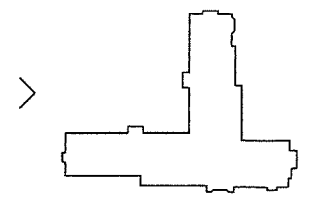
Scale: As indicated  
Drawn By: RPD, JT, JPS

**A3.3**

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.



1 NORTH ELEVATION  
A3.3 1/8" = 1'-0"



GENERAL NOTE:  
FINISH FLOOR ELEVATION OF THE FIRST FLOOR  
(0'-0") IS AT 619.5'. REFER TO CIVIL & LANDSCAPE  
DRAWINGS

**EXTERIOR ENVELOPE NOTES:**

1. DOORS: PROVIDE 2 1/4" STAINED MAHOGANY  
STILE-AND-RAIL DOORS W/ PANEL PATTERN AS  
SHOWN. INCLUDE STAINED WOOD MULLIONS AND  
TRANSOMS WHERE INDICATED. PROVIDE FAUX  
LEADED GLAZING AT LITES WHERE SHOWN.  
HARDWARE TO BE STEEL HISTORIC REPLICA.
2. WINDOWS: THERMALLY BROKEN STEEL CASEMENT  
WINDOWS WITH FAUX LEADED GLAZING. BASIS OF  
DESIGN: HOPES.
3. BRICK VENEER: MATCH COLOR AND AGGREGATE OF  
BRICK USED ON CHARLES PHELPS TAFT HALL.

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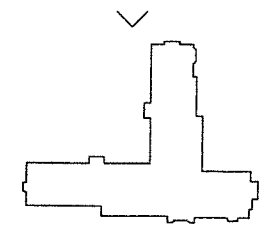
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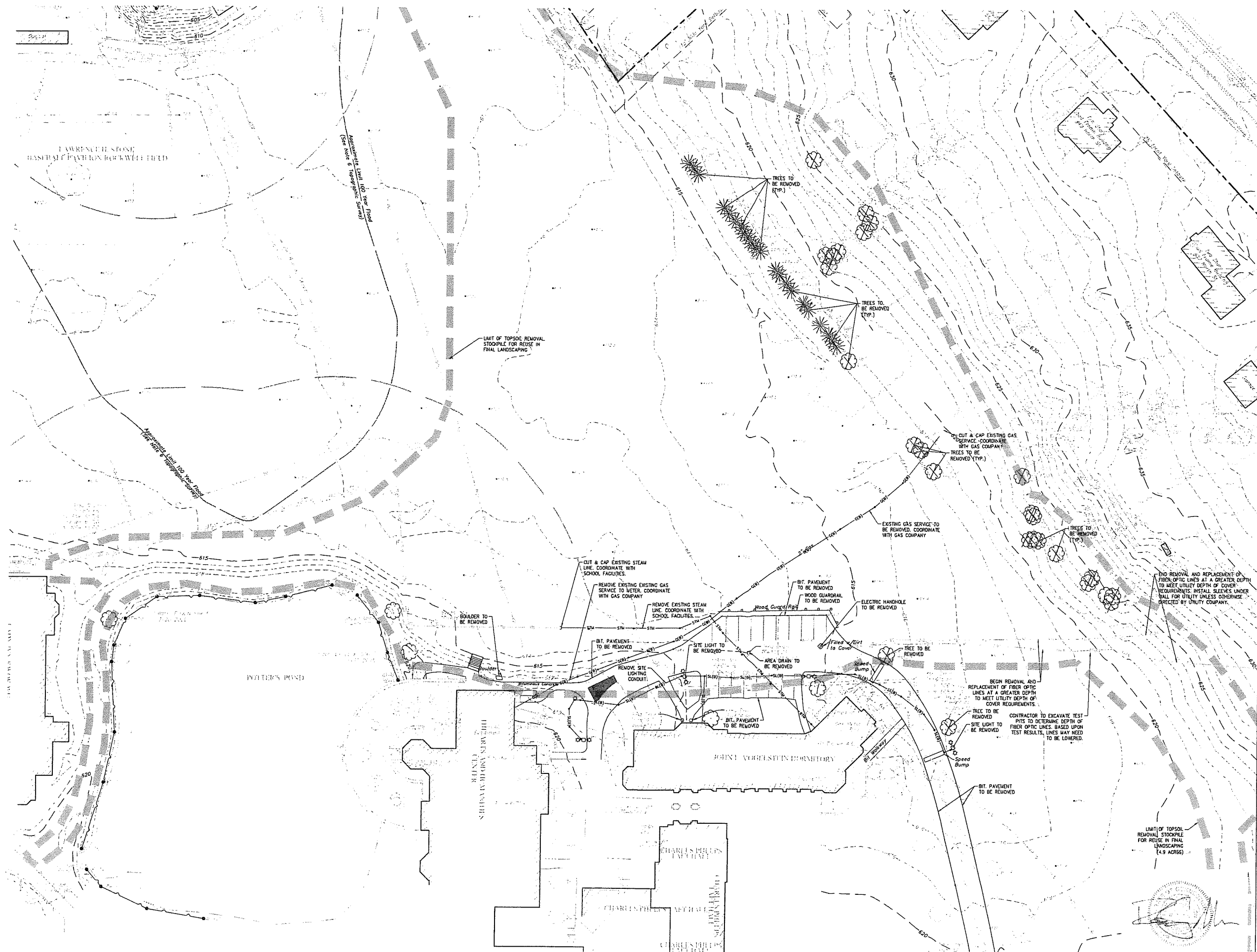
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Date January 21, 2026  
Title ELEVATIONS

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**A3.4**

Contractor to verify all dimensions in field and inform  
Architect of any discrepancies before starting work.





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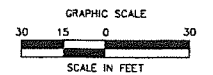
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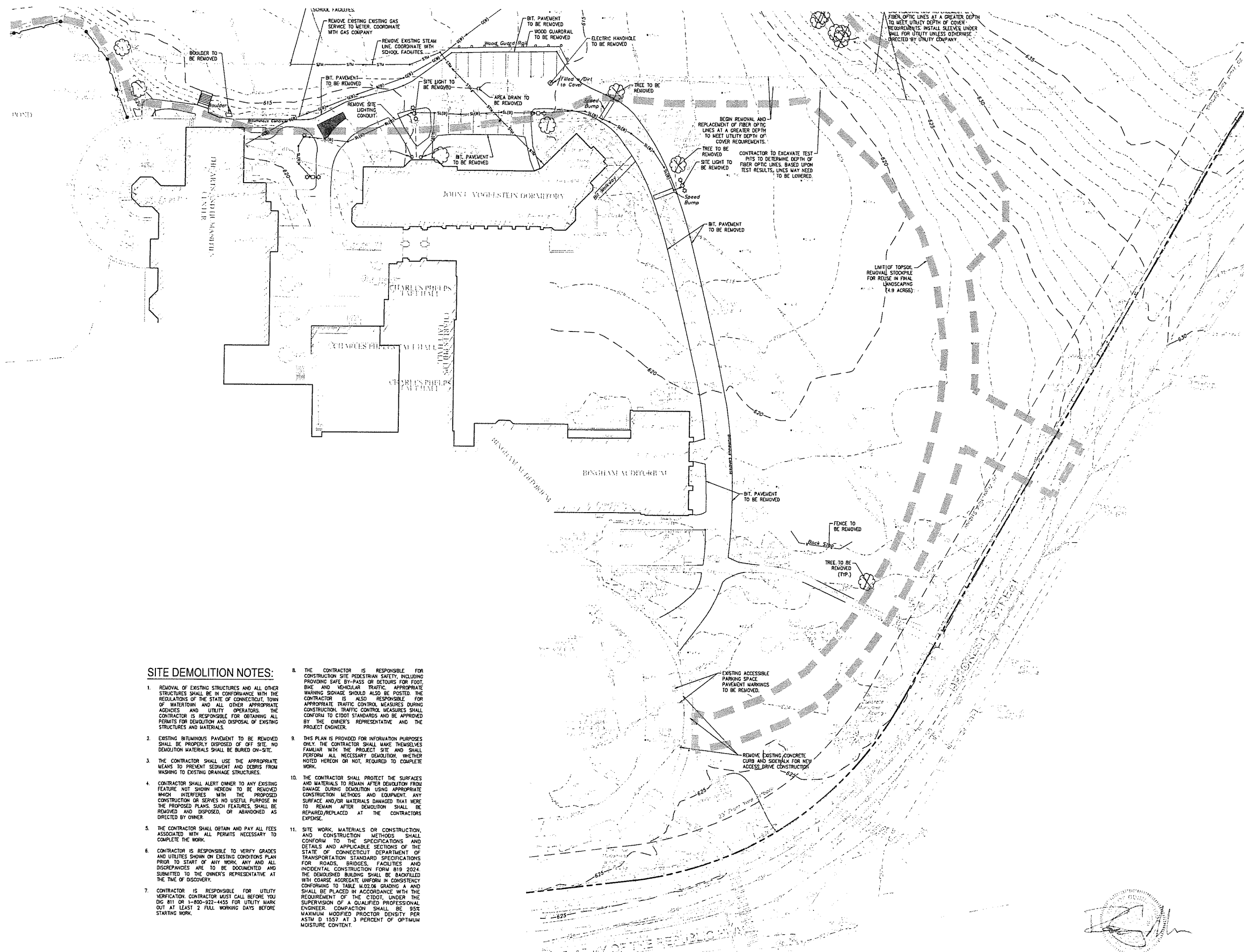


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Revision	
Date	January 21, 2026
Title	DORM 1 & 2 DEMOLITION PLAN
Scale	1"=30'
Drawn By	HTRR

**C1.1**

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.



**SITE DEMOLITION NOTES:**

1. REMOVAL OF EXISTING STRUCTURES AND ALL OTHER STRUCTURES SHALL BE IN CONFORMANCE WITH THE REGULATIONS OF THE STATE OF CONNECTICUT, TOWN OF WATERLOO AND ALL OTHER APPROPRIATE AGENCIES AND UTILITY OPERATORS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS FOR DEMOLITION AND DISPOSAL OF EXISTING STRUCTURES AND MATERIALS.
2. EXISTING BITUMINOUS PAVEMENT TO BE REMOVED SHALL BE PROPERLY DISPOSED OF OFF SITE. NO DEMOLITION MATERIALS SHALL BE BURIED ON-SITE.
3. THE CONTRACTOR SHALL USE THE APPROPRIATE MEANS TO PREVENT SEDIMENT AND DEBRIS FROM WASHING TO EXISTING DRAINAGE STRUCTURES.
4. CONTRACTOR SHALL ALERT OWNER TO ANY EXISTING FEATURE NOT SHOWN HEREON TO BE REMOVED WHICH INTERFERES WITH THE PROPOSED CONSTRUCTION OR SERVES NO USEFUL PURPOSE IN THE PROPOSED PLANS. SUCH FEATURES SHALL BE REMOVED AND DISPOSED, OR ABANDONED AS DIRECTED BY OWNER.
5. THE CONTRACTOR SHALL OBTAIN AND PAY ALL FEES ASSOCIATED WITH ALL PERMITS NECESSARY TO COMPLETE THE WORK.
6. CONTRACTOR IS RESPONSIBLE TO VERIFY GRADES AND UTILITIES SHOWN ON EXISTING CONDITIONS PLAN PRIOR TO START OF ANY WORK. ANY AND ALL DISCREPANCIES ARE TO BE DOCUMENTED AND SUBMITTED TO THE OWNER'S REPRESENTATIVE AT THE TIME OF DISCOVERY.
7. CONTRACTOR IS RESPONSIBLE FOR UTILITY VERIFICATION. CONTRACTOR MUST CALL BEFORE YOU DIG 811 OR 1-800-922-4455 FOR UTILITY MARK OUT AT LEAST 2 FULL WORKING DAYS BEFORE STARTING WORK.
8. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SITE PEDESTRIAN SAFETY, INCLUDING PROVIDING SAFE BY-PASS OR DETOURS FOR FOOT, BIKE AND VEHICULAR TRAFFIC. APPROPRIATE WARNING SIGNAGE SHOULD ALSO BE POSTED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR APPROPRIATE TRAFFIC CONTROL MEASURES DURING CONSTRUCTION. TRAFFIC CONTROL MEASURES SHALL CONFORM TO CTDOT STANDARDS AND BE APPROVED BY THE OWNER'S REPRESENTATIVE AND THE PROJECT ENGINEER.
9. THIS PLAN IS PROVIDED FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL MAKE THEMSELVES FAMILIAR WITH THE PROJECT SITE AND SHALL PERFORM ALL NECESSARY OBSERVATION, WHETHER NOTED HEREON OR NOT, REQUIRED TO COMPLETE WORK.
10. THE CONTRACTOR SHALL PROTECT THE SURFACES AND MATERIALS TO REMAIN AFTER DEMOLITION FROM DAMAGE DURING DEMOLITION USING APPROPRIATE CONSTRUCTION METHODS AND EQUIPMENT. ANY SURFACE AND/OR MATERIALS DAMAGED THAT WERE TO REMAIN AFTER DEMOLITION SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE.
11. SITE WORK, MATERIALS OR CONSTRUCTION, AND CONSTRUCTION METHODS SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION FORM 819 2024. THE DEMOLISHED BUILDING SHALL BE BACKFILLED WITH COARSE AGGREGATE UNIFORM IN CONSISTENCY CONFORMING TO TABLE 4.02.06 GRADING A AND SHALL BE PLACED IN ACCORDANCE WITH THE REQUIREMENT OF THE CTDOT, UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. COMPACTION SHALL BE 95% MAXIMUM MODIFIED PROCTOR DENSITY PER ASTM D 1557 AT 3 PERCENT OF OPTIMUM MOISTURE CONTENT.

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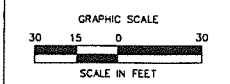
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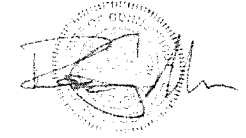
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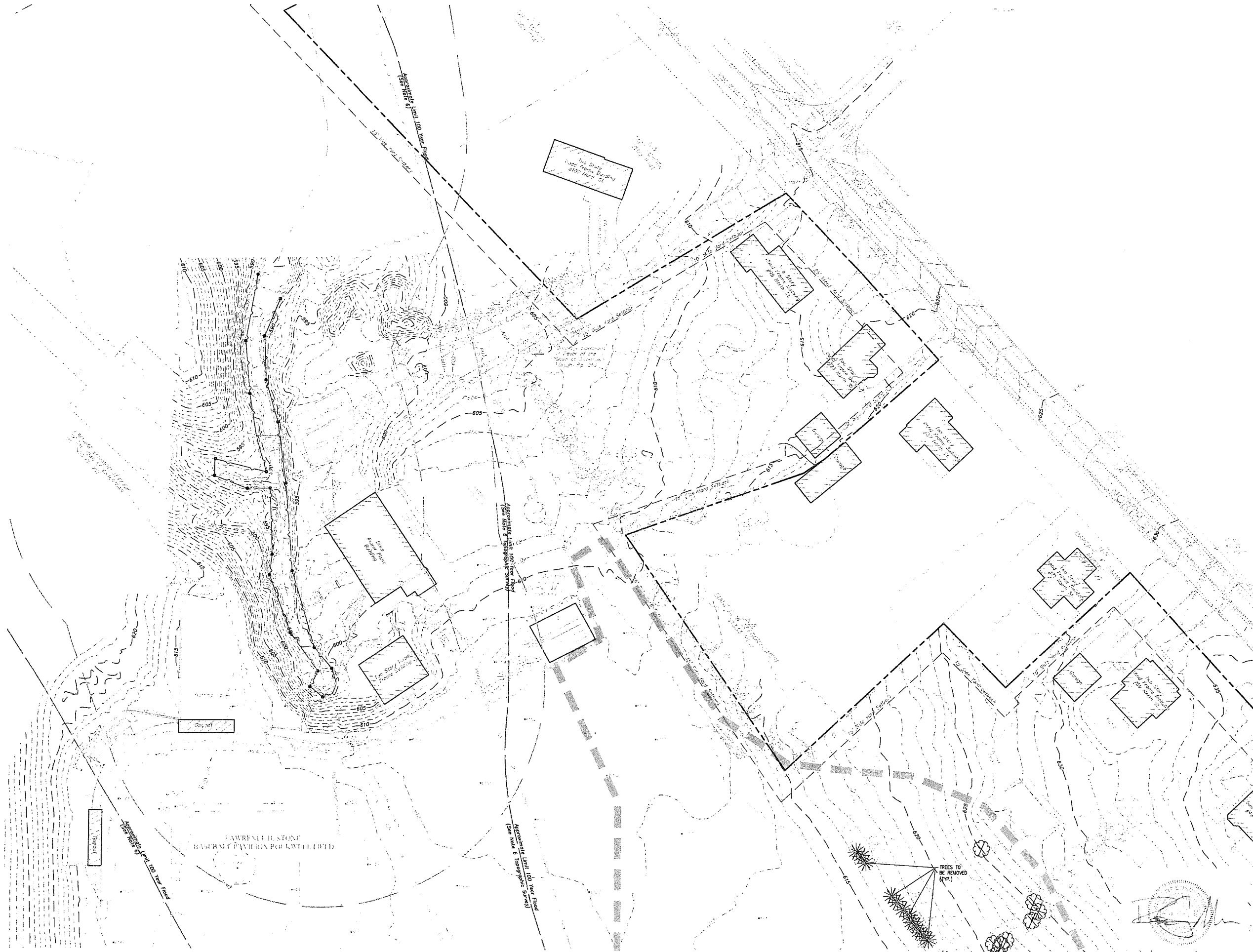
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Revision  
 Date January 21, 2025  
 Title DORM 1 & 2  
 DEMOLITION PLAN  
 Scale 1"=30'  
 Drawn By HT/RR

C1.2



Consider to verify all dimensions on field and inform Architect of any discrepancies before starting work.



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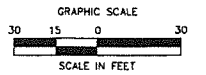
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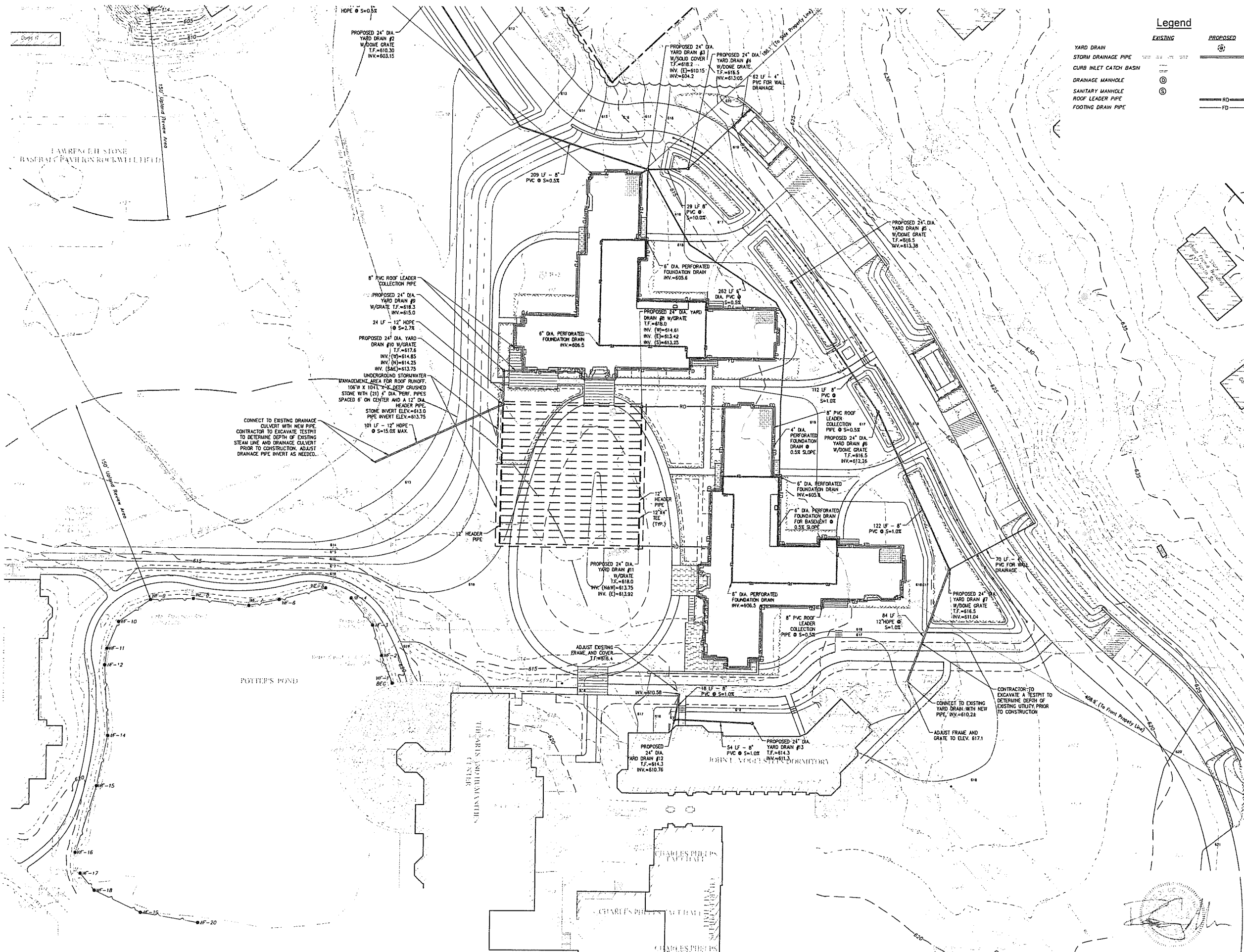


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**Revision**  
 Date: January 21, 2026  
 Title: DORM 1 & 2  
 Scale: 1"=30'  
 Drawn By: HT/RR

**C1.3**

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.



**Legend**

- EXISTING
- PROPOSED
- YARD DRAIN
- STORM DRAINAGE PIPE
- CURB INLET CATCH BASIN
- DRAINAGE MANHOLE
- SANITARY MANHOLE
- ROOF LEADER PIPE
- FOOTING DRAIN PIPE

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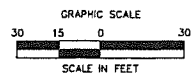
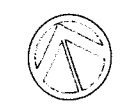
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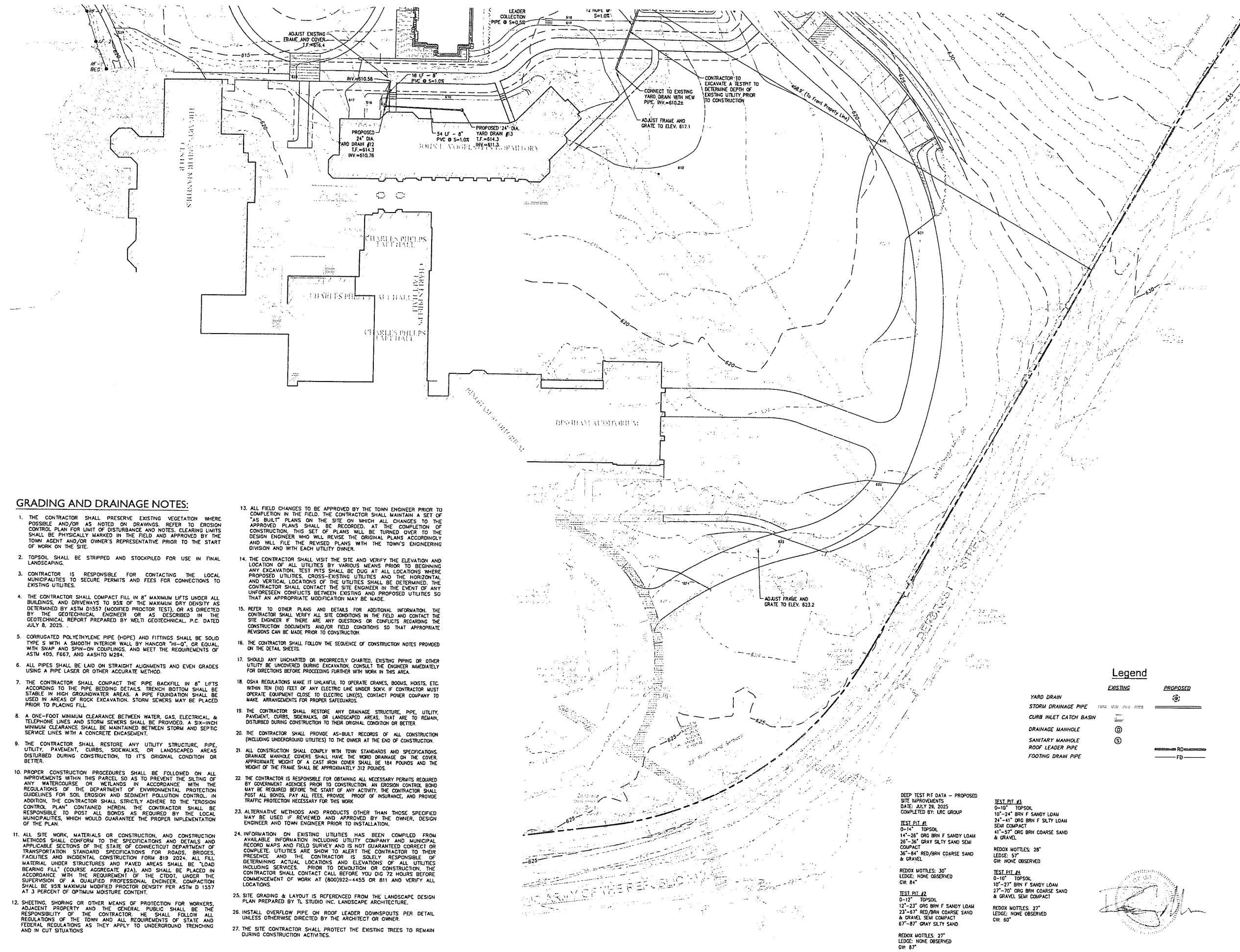
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Revision  
Date January 21, 2026  
Title DORM 1 & 2 - DRAINAGE PLAN

Scale 1"=30'  
Drawn By HT/RR

C2.1

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.



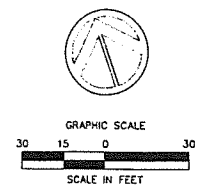
**GRADING AND DRAINAGE NOTES:**

- THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND NOTES. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN AGENT AND/OR OWNER'S REPRESENTATIVE PRIOR TO THE START OF WORK ON THE SITE.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE LOCAL MUNICIPALITIES TO SECURE PERMITS AND FEES FOR CONNECTIONS TO EXISTING UTILITIES.
- THE CONTRACTOR SHALL COMPACT FILL IN 8" MAXIMUM LIFTS UNDER ALL BUILDINGS, AND DRIVEWAYS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER OR AS DESCRIBED IN THE GEOTECHNICAL REPORT PREPARED BY WELTI GEOTECHNICAL, P.C DATED JULY 8, 2025.
- CORRUGATED POLYETHYLENE PIPE (HDPE) AND FITTINGS SHALL BE SOLID TYPE S WITH A SMOOTH INTERIOR WALL BY HANCOR "HI-O", OR EQUAL, WITH SNAP AND SPIN-ON COUPLINGS, AND MEET THE REQUIREMENTS OF ASTM 405, F667, AND AASHTO M284.
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 8" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION. STORM SEWERS MAY BE PLACED PRIOR TO PLACING FILL.
- A ONE-FOOT MINIMUM CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, & TELEPHONE LINES AND STORM SEWERS SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM AND SEPTIC SERVICE LINES WITH A CONCRETE ENCASMENT.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION, TO ITS ORIGINAL CONDITION OR BETTER.
- PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL AS TO PREVENT THE SILING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION GUIDELINES FOR SOIL EROSION AND SEDIMENT POLLUTION CONTROL. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE EROSION CONTROL PLAN\* CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
- ALL SITE WORK, MATERIALS OR CONSTRUCTION, AND CONSTRUCTION METHODS SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION FORM 819 2024. ALL FILL MATERIAL UNDER STRUCTURES AND PAVED AREAS SHALL BE "LOAD BEARING FILL" (COURSE AGRICULTURE #2A), AND SHALL BE PLACED IN ACCORDANCE WITH THE REQUIREMENT OF THE CTDOI, UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. COMPACTION SHALL BE 95% MAXIMUM MODIFIED PROCTOR DENSITY PER ASTM D 1557 AT 3 PERCENT OF OPTIMUM MOISTURE CONTENT.
- SHEETING, SHORING OR OTHER MEANS OF PROTECTION FOR WORKERS, ADJACENT PROPERTY AND THE GENERAL PUBLIC SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. HE SHALL FOLLOW ALL REGULATIONS OF THE TOWN AND ALL REQUIREMENTS OF STATE AND FEDERAL REGULATIONS AS THEY APPLY TO UNDERGROUND TRENCHING AND IN CUT SITUATIONS.

- ALL FIELD CHANGES TO BE APPROVED BY THE TOWN ENGINEER PRIOR TO COMPLETION IN THE FIELD. THE CONTRACTOR SHALL MAINTAIN A SET OF "AS BUILT" PLANS ON THE SITE ON WHICH ALL CHANGES TO THE APPROVED PLANS SHALL BE RECORDED. AT THE COMPLETION OF CONSTRUCTION, THIS SET OF PLANS WILL BE TURNED OVER TO THE DESIGN ENGINEER WHO WILL REVISE THE ORIGINAL PLANS ACCORDINGLY AND WILL FILE THE REVISED PLANS WITH THE TOWN'S ENGINEERING DIVISION AND WITH EACH UTILITY OWNER.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE PROPOSED UTILITIES, CROSS-EXISTING UTILITIES AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE SITE ENGINEER IN THE EVENT OF ANY UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
- REFER TO OTHER PLANS AND DETAILS FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE DETAIL SHEETS.
- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- OSHA REGULATIONS MAKE IT UNLAWFUL TO OPERATE CRANES, BOOMS, HOISTS, ETC. WITHIN TEN (10) FEET OF ANY ELECTRIC LINE UNDER 50KV. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINE(S), CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS.
- THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, OR LANDSCAPED AREAS, THAT ARE TO REMAIN, DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL COMPLY WITH TOWN STANDARDS AND SPECIFICATIONS. DRAINAGE MANHOLE COVERS SHALL HAVE THE WORD DRAINAGE ON THE COVER. APPROXIMATE HEIGHT OF A CAST IRON COVER SHALL BE 154 POUNDS AND THE WEIGHT OF THE FRAME SHALL BE APPROXIMATELY 312 POUNDS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. AN EROSION CONTROL BOND MAY BE REQUIRED BEFORE THE START OF ANY ACTIVITY. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE, AND PROVIDE TRAFFIC PROTECTION NECESSARY FOR THIS WORK.
- ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, DESIGN ENGINEER AND TOWN ENGINEER PRIOR TO INSTALLATION.
- INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE OF DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT CALL BEFORE YOU DIG 72 HOURS BEFORE COMMENCEMENT OF WORK AT (800)922-4455 OR 811 AND VERIFY ALL LOCATIONS.
- SITE GRADING & LAYOUT IS REFERENCED FROM THE LANDSCAPE DESIGN PLAN PREPARED BY TL STUDIO INC. LANDSCAPE ARCHITECTURE.
- INSTALL OVERFLOW PIPE ON ROOF LEADER DOWNSPOUTS PER DETAIL UNLESS OTHERWISE DIRECTED BY THE ARCHITECT OR OWNER.
- THE SITE CONTRACTOR SHALL PROTECT THE EXISTING TREES TO REMAIN DURING CONSTRUCTION ACTIVITIES.

**Legend**

EXISTING	PROPOSED
YARD DRAIN	⊗
STORM DRAINAGE PIPE	---
CURB INLET CATCH BASIN	⊕
DRAINAGE MANHOLE	⊙
SANITARY MANHOLE	⊕
ROOF LEADER PIPE	---
FOOTING DRAIN PIPE	---



DEEP TEST PIT DATA - PROPOSED  
 SITE IMPROVEMENTS  
 DATE: JULY 29, 2025  
 COMPLETED BY: LRC GROUP

TEST PIT #1  
 0-12" TOPSOIL  
 14"-26" ORG BRN F SANDY LOAM  
 26"-36" GRAY SILTY SAND SEMI  
 COMPACT  
 36"-64" RED/BRN COARSE SAND & GRAVEL

REDOX NOTILES: 30"  
 LEDGE: NONE OBSERVED  
 GW: 84"

TEST PIT #2  
 0-12" TOPSOIL  
 12"-23" ORG BRN F SANDY LOAM  
 23"-67" RED/BRN COARSE SAND & GRAVEL SEMI COMPACT  
 67"-87" GRAY SILTY SAND

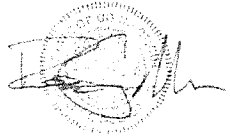
REDOX NOTILES: 27"  
 LEDGE: NONE OBSERVED  
 GW: 87"

TEST PIT #3  
 0-10" TOPSOIL  
 10"-24" BRN F SANDY LOAM  
 24"-41" ORG BRN F SILTY LOAM  
 SEMI COMPACT  
 41"-57" ORG BRN COARSE SAND & GRAVEL

REDOX NOTILES: 28"  
 LEDGE: 57"  
 GW: NONE OBSERVED

TEST PIT #4  
 0-10" TOPSOIL  
 10"-27" BRN F SANDY LOAM  
 27"-70" ORG BRN COARSE SAND & GRAVEL SEMI COMPACT

REDOX NOTILES: 27"  
 LEDGE: NONE OBSERVED  
 GW: 60"



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ZONING SUBMISSION  
 NOT FOR CONSTRUCTION

Revision  
 Date January 21, 2026  
 Title DORM 1 & 2 - DRAINAGE PLAN  
 Scale 1"=30'  
 Drawn By HT/RR

**C2.2**

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.

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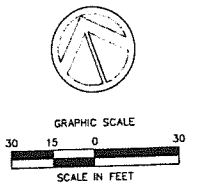
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**Legend**

	<b>EXISTING</b>	<b>PROPOSED</b>
YARD DRAIN		
STORM DRAINAGE PIPE		
CURB INLET CATCH BASIN		
DRAINAGE MANHOLE		
SANITARY MANHOLE		
ROOF LEADER PIPE		
FOOTING DRAIN PIPE		

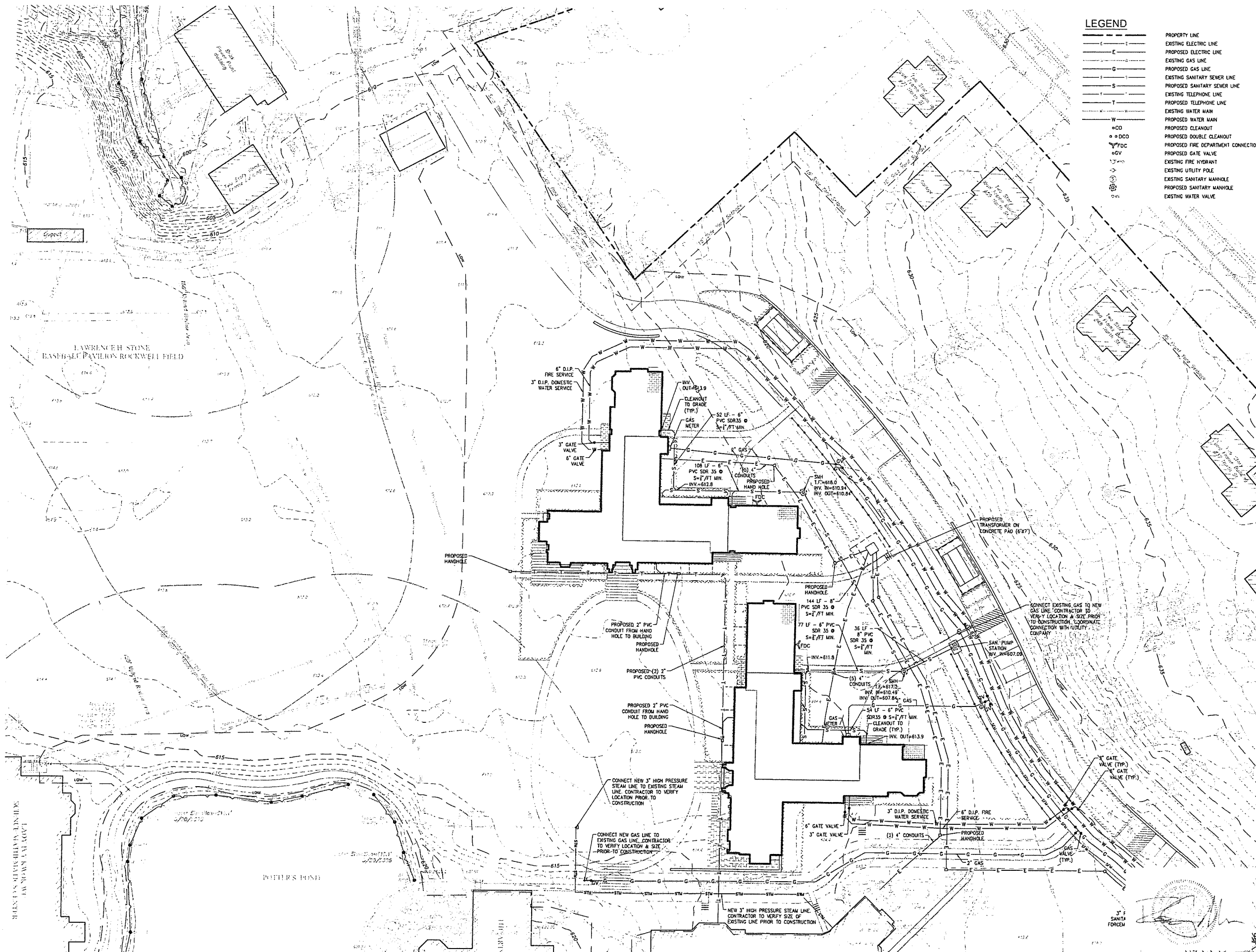


**ZONING SUBMISSION  
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**C2.3**

Contractor to verify all dimensions on field and inform Architect of any discrepancies before starting work.



**LEGEND**

---	PROPERTY LINE
---	EXISTING ELECTRIC LINE
---	PROPOSED ELECTRIC LINE
---	EXISTING GAS LINE
---	PROPOSED GAS LINE
---	EXISTING SANITARY SEWER LINE
---	PROPOSED SANITARY SEWER LINE
---	EXISTING TELEPHONE LINE
---	PROPOSED TELEPHONE LINE
---	EXISTING WATER MAIN
---	PROPOSED WATER MAIN
○	PROPOSED CLEANOUT
○	PROPOSED DOUBLE CLEANOUT
○	PROPOSED FIRE DEPARTMENT CONNECTION
○	PROPOSED GATE VALVE
○	EXISTING FIRE HYDRANT
○	EXISTING UTILITY POLE
○	EXISTING SANITARY MANHOLE
○	PROPOSED SANITARY MANHOLE
○	EXISTING WATER VALVE

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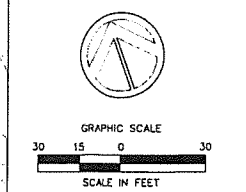
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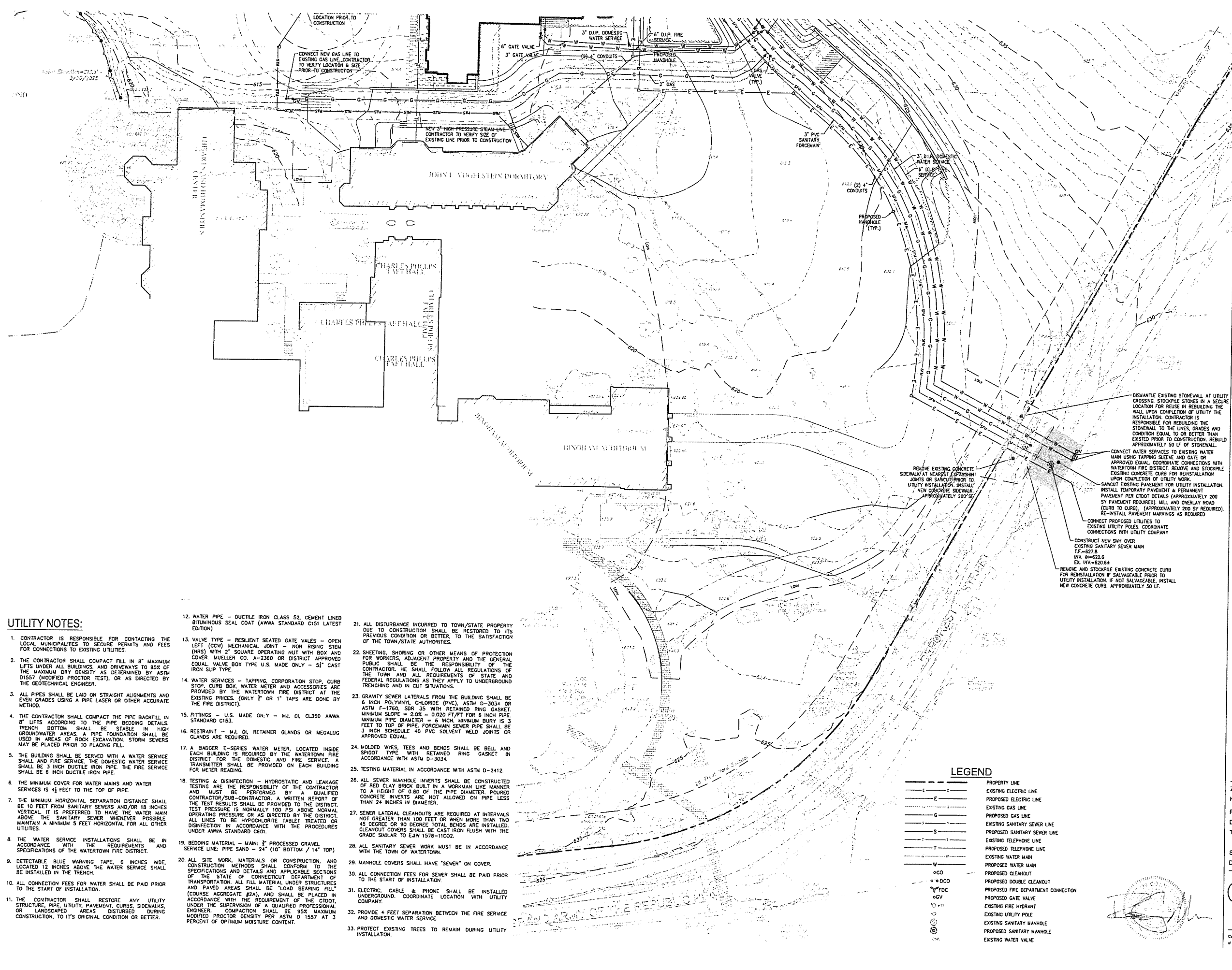


**ZONING SUBMISSION**  
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Revision  
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**C3.1**

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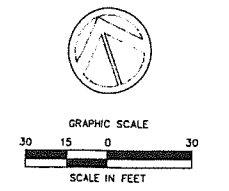
**LIGHTING DESIGN**  
 O'Donoghue Lighting  
 1816 S. 2nd Street  
 Philadelphia, PA 19146  
 phone (215) 518-4788

**UTILITY NOTES:**

- CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE LOCAL MUNICIPALITIES TO SECURE PERMITS AND FEES FOR CONNECTIONS TO EXISTING UTILITIES.
- THE CONTRACTOR SHALL COMPACT FILL IN 8" MAXIMUM LIFTS UNDER ALL BUILDINGS, AND DRIVEWAYS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 8" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION. STORM SEWERS MAY BE PLACED PRIOR TO PLACING FILL.
- THE BUILDING SHALL BE SERVED WITH A WATER SERVICE AND FIRE SERVICE. THE DOMESTIC WATER SERVICE SHALL BE 3 INCH DUCTILE IRON PIPE. THE FIRE SERVICE SHALL BE 6 INCH DUCTILE IRON PIPE.
- THE MINIMUM COVER FOR WATER MAINS AND WATER SERVICES IS 4 1/2 FEET TO THE TOP OF PIPE.
- THE MINIMUM HORIZONTAL SEPARATION DISTANCE SHALL BE 10 FEET FROM SANITARY SEWERS AND/OR 18 INCHES VERTICAL. IT IS PREFERRED TO HAVE THE WATER MAIN ABOVE THE SANITARY SEWER WHENEVER POSSIBLE. MAINTAIN A MINIMUM 5 FEET HORIZONTAL FOR ALL OTHER UTILITIES.
- THE WATER SERVICE INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE WATERTOWN FIRE DISTRICT.
- DETECTABLE BLUE WARNING TAPE, 6 INCHES WIDE, LOCATED 12 INCHES ABOVE THE WATER SERVICE SHALL BE INSTALLED IN THE TRENCH.
- ALL CONNECTION FEES FOR WATER SHALL BE PAID PRIOR TO THE START OF INSTALLATION.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION, TO ITS ORIGINAL CONDITION OR BETTER.
- WATER PIPE - DUCTILE IRON CLASS 52, CEMENT LINED BITUMINOUS SEAL COAT (AWWA STANDARD C151 LATEST EDITION).
- VALVE TYPE - RESILIENT SEATED GATE VALVES - OPEN LEFT (CCW) MECHANICAL JOINT - NON RISING STEM (NRS) WITH 2" SQUARE OPERATING NUT WITH BOX AND COVER. MUELLER CO. A-2360 OR DISTRICT APPROVED EQUAL VALVE BOX TYPE U.S. MADE ONLY - 51" CAST IRON SLIP TYPE.
- WATER SERVICES - TAPPING, CORPORATION STOP, CURB STOP, CURB BOX, WATER METER AND ACCESSORIES ARE PROVIDED BY THE WATERTOWN FIRE DISTRICT AT THE EXISTING PRICES. (ONLY 3/4" OR 1" TAPS ARE DONE BY THE FIRE DISTRICT).
- FITTINGS - U.S. MADE ONLY - MJ, DI, CL350 AWWA STANDARD C153.
- RESTRAINT - MJ, DI, RETAINER GLANDS OR MEGALUG GLANDS ARE REQUIRED.
- A BADGER E-SERIES WATER METER, LOCATED INSIDE EACH BUILDING IS REQUIRED BY THE WATERTOWN FIRE DISTRICT FOR THE DOMESTIC AND FIRE SERVICE. A TRANSMITTER SHALL BE PROVIDED ON EACH BUILDING FOR METER READING.
- TESTING & DISINFECTION - HYDROSTATIC AND LEAKAGE TESTING ARE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE PERFORMED BY A QUALIFIED CONTRACTOR/SUB-CONTRACTOR. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE PROVIDED TO THE DISTRICT. TEST PRESSURE IS NORMALLY 100 PSI ABOVE NORMAL OPERATING PRESSURE OR AS DIRECTED BY THE DISTRICT. ALL LINES TO BE HYPOCHLORITE TABLET TREATED OR DISINFECTION IN ACCORDANCE WITH THE PROCEDURES UNDER AWWA STANDARD C601.
- BEDDING MATERIAL - MAIN, 3" PROCESSED GRAVEL SERVICE LINE; PIPE SAND - 24" (10" BOTTOM / 14" TOP)
- ALL SITE WORK, MATERIALS OR CONSTRUCTION, AND CONSTRUCTION METHODS SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION. ALL FILL MATERIAL UNDER STRUCTURES AND PAVED AREAS SHALL BE "LOAD BEARING FILL" (COURSE AGGREGATE #2A), AND SHALL BE PLACED IN ACCORDANCE WITH THE REQUIREMENT OF THE CTDOT, UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. COMPACTION SHALL BE 95% MAXIMUM MODIFIED PROCTOR DENSITY PER ASTM D 1557 AT 3 PERCENT OF OPTIMUM MOISTURE CONTENT.
- ALL DISTURBANCE INCURRED TO TOWN/STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWN/STATE AUTHORITIES.
- SHEETING, SHORING OR OTHER MEANS OF PROTECTION FOR WORKERS, ADJACENT PROPERTY AND THE GENERAL PUBLIC SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. HE SHALL FOLLOW ALL REGULATIONS OF THE TOWN AND ALL REQUIREMENTS OF STATE AND FEDERAL REGULATIONS AS THEY APPLY TO UNDERGROUND TRENCHING AND IN CUT SITUATIONS.
- GRAVITY SEWER LATERALS FROM THE BUILDING SHALL BE 8 INCH POLYVINYL CHLORIDE (PVC), ASTM D-3034 OR ASTM F-1760, SDR 35 WITH RETAINED RING GASKET. MINIMUM SLOPE = 2.0% = 0.020 FT/FT FOR 8 INCH PIPE. MINIMUM PIPE DIAMETER = 8 INCH. MINIMUM BURY IS 3 FEET TO TOP OF PIPE. FORCEMAIN SEWER PIPE SHALL BE 3 INCH SCHEDULE 40 PVC SOLVENT WELD JOINTS OR APPROVED EQUAL.
- MOLDED WYES, TEES AND BENDS SHALL BE BELL AND SPIGOT TYPE WITH RETAINED RING GASKET IN ACCORDANCE WITH ASTM D-3034.
- TESTING MATERIAL IN ACCORDANCE WITH ASTM D-2412.
- ALL SEWER MANHOLE INVERTS SHALL BE CONSTRUCTED OF RED CLAY BRICK BUILT IN A WORKMAN LIKE MANNER TO A HEIGHT OF 0.80 OF THE PIPE DIAMETER. POURED CONCRETE INVERTS ARE NOT ALLOWED ON PIPE LESS THAN 24 INCHES IN DIAMETER.
- SEWER LATERAL CLEANOUTS ARE REQUIRED AT INTERVALS NOT GREATER THAN 100 FEET OR WHEN MORE THAN TWO 45 DEGREE OR 90 DEGREE TOTAL BENDS ARE INSTALLED. CLEANOUT COVERS SHALL BE CAST IRON FLUSH WITH THE GRADE SIMILAR TO E.J.W 1578-11C02.
- ALL SANITARY SEWER WORK MUST BE IN ACCORDANCE WITH THE TOWN OF WATERTOWN.
- MANHOLE COVERS SHALL HAVE "SEWER" ON COVER.
- ALL CONNECTION FEES FOR SEWER SHALL BE PAID PRIOR TO THE START OF INSTALLATION.
- ELECTRIC, CABLE & PHONE SHALL BE INSTALLED UNDERGROUND. COORDINATE LOCATION WITH UTILITY COMPANY.
- PROVIDE 4 FEET SEPARATION BETWEEN THE FIRE SERVICE AND DOMESTIC WATER SERVICE.
- PROTECT EXISTING TREES TO REMAIN DURING UTILITY INSTALLATION.

**LEGEND**

- P --- PROPERTY LINE
- E --- EXISTING ELECTRIC LINE
- G --- PROPOSED ELECTRIC LINE
- S --- EXISTING GAS LINE
- S --- PROPOSED GAS LINE
- S --- EXISTING SANITARY SEWER LINE
- S --- PROPOSED SANITARY SEWER LINE
- T --- EXISTING TELEPHONE LINE
- T --- PROPOSED TELEPHONE LINE
- W --- EXISTING WATER MAIN
- W --- PROPOSED WATER MAIN
- o o CO PROPOSED CLEANOUT
- o o CO PROPOSED DOUBLE CLEANOUT
- FDC PROPOSED FIRE DEPARTMENT CONNECTION
- o o GV PROPOSED GATE VALVE
- o o H EXISTING FIRE HYDRANT
- o o U EXISTING UTILITY POLE
- o o M EXISTING SANITARY MANHOLE
- o o M PROPOSED SANITARY MANHOLE
- o o V EXISTING WATER VALVE

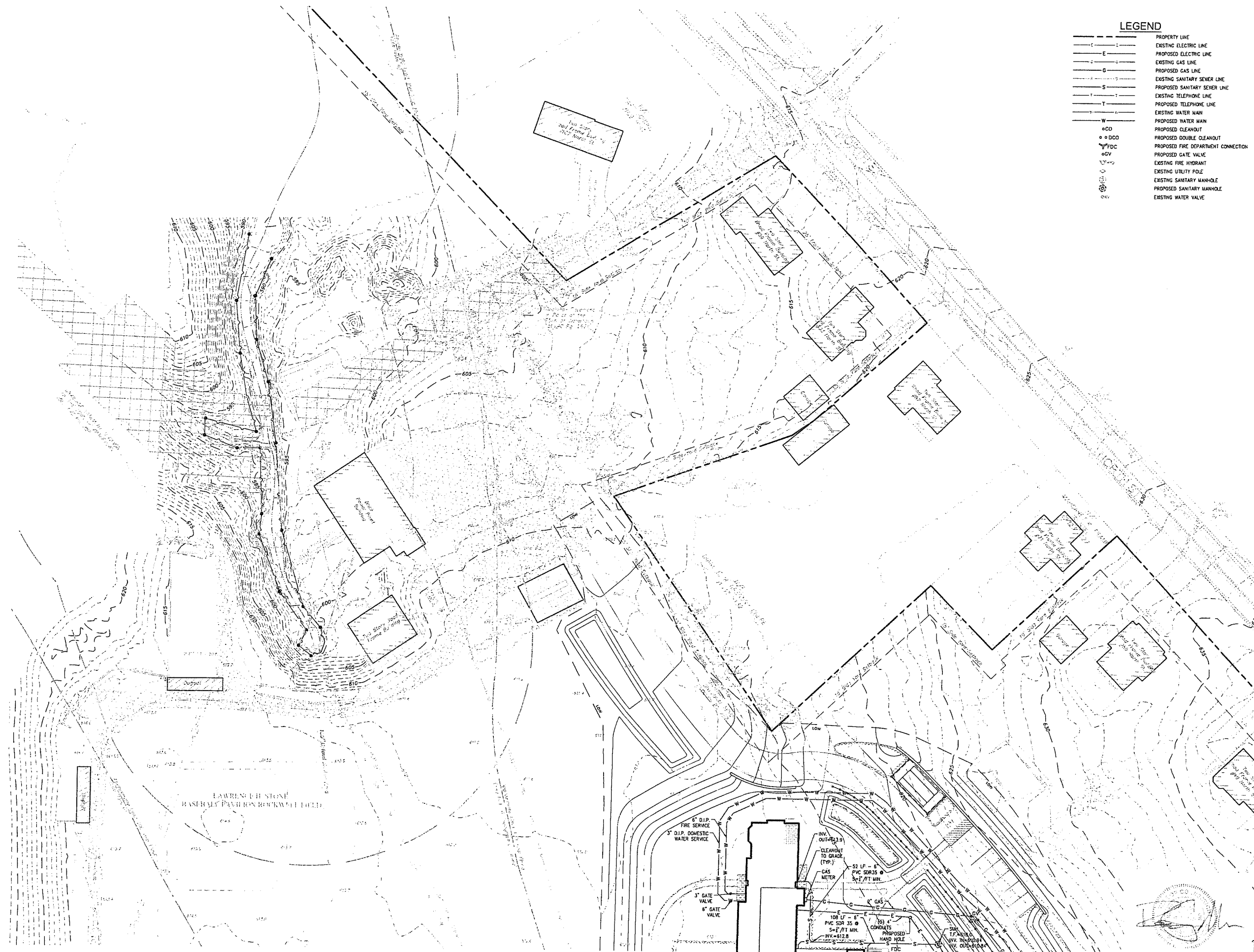


**ZONING SUBMISSION**  
 NOT FOR CONSTRUCTION

Revision  
 Date January 21, 2026  
 Title DORM 1 & 2  
 SITE UTILITIES PLAN  
 Scale 1"=30'  
 Drawn By HT/RR

**C3.2**

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.



**LEGEND**

---	PROPERTY LINE
---	EXISTING ELECTRIC LINE
---	PROPOSED ELECTRIC LINE
---	EXISTING GAS LINE
---	PROPOSED GAS LINE
---	EXISTING SANITARY SEWER LINE
---	PROPOSED SANITARY SEWER LINE
---	EXISTING TELEPHONE LINE
---	PROPOSED TELEPHONE LINE
---	EXISTING WATER MAIN
---	PROPOSED WATER MAIN
o	PROPOSED CLEANOUT
o	PROPOSED DOUBLE CLEANOUT
Y	PROPOSED FIRE DEPARTMENT CONNECTION
o	PROPOSED GATE VALVE
o	EXISTING FIRE HYDRANT
o	EXISTING UTILITY POLE
o	EXISTING SANITARY MANHOLE
o	PROPOSED SANITARY MANHOLE
o	EXISTING WATER VALVE

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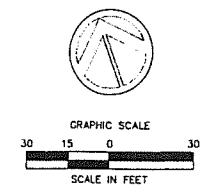
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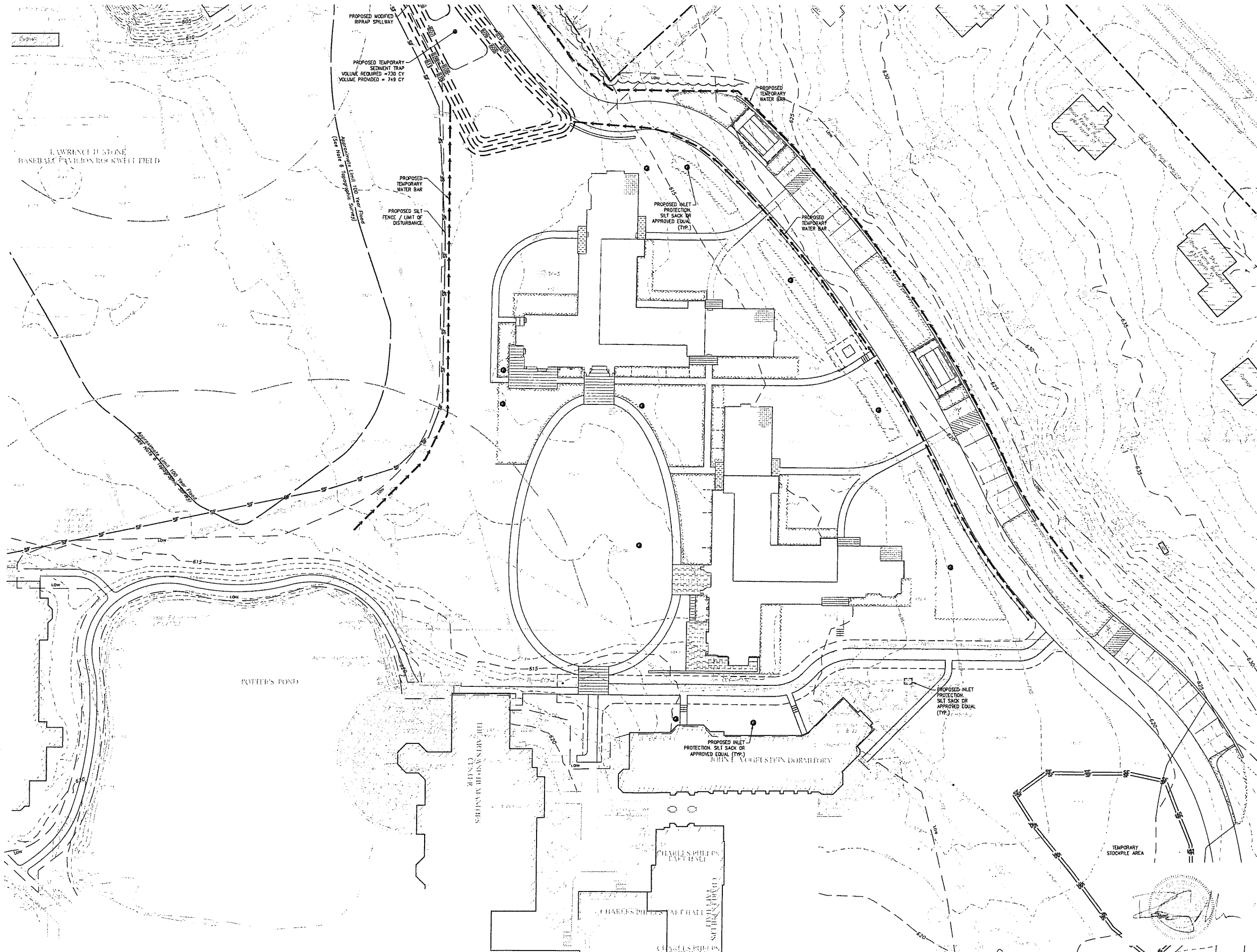


ZONING SUBMISSION  
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Revision  
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 Scale 1"=30'  
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C3.3

Contractor is verify all dimensions in field and inform Architect of any discrepancies before starting work.



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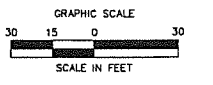
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**ZONING SUBMISSION**  
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Revision  
 Date January 21, 2026  
 Title DORM 1 & 2 - SEDIMENTATION & EROSION CONTROL PLAN  
 Scale 1"=30'  
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**C4.1**

Contractor to verify all dimensions on field and inform Architect of any discrepancies before starting work.

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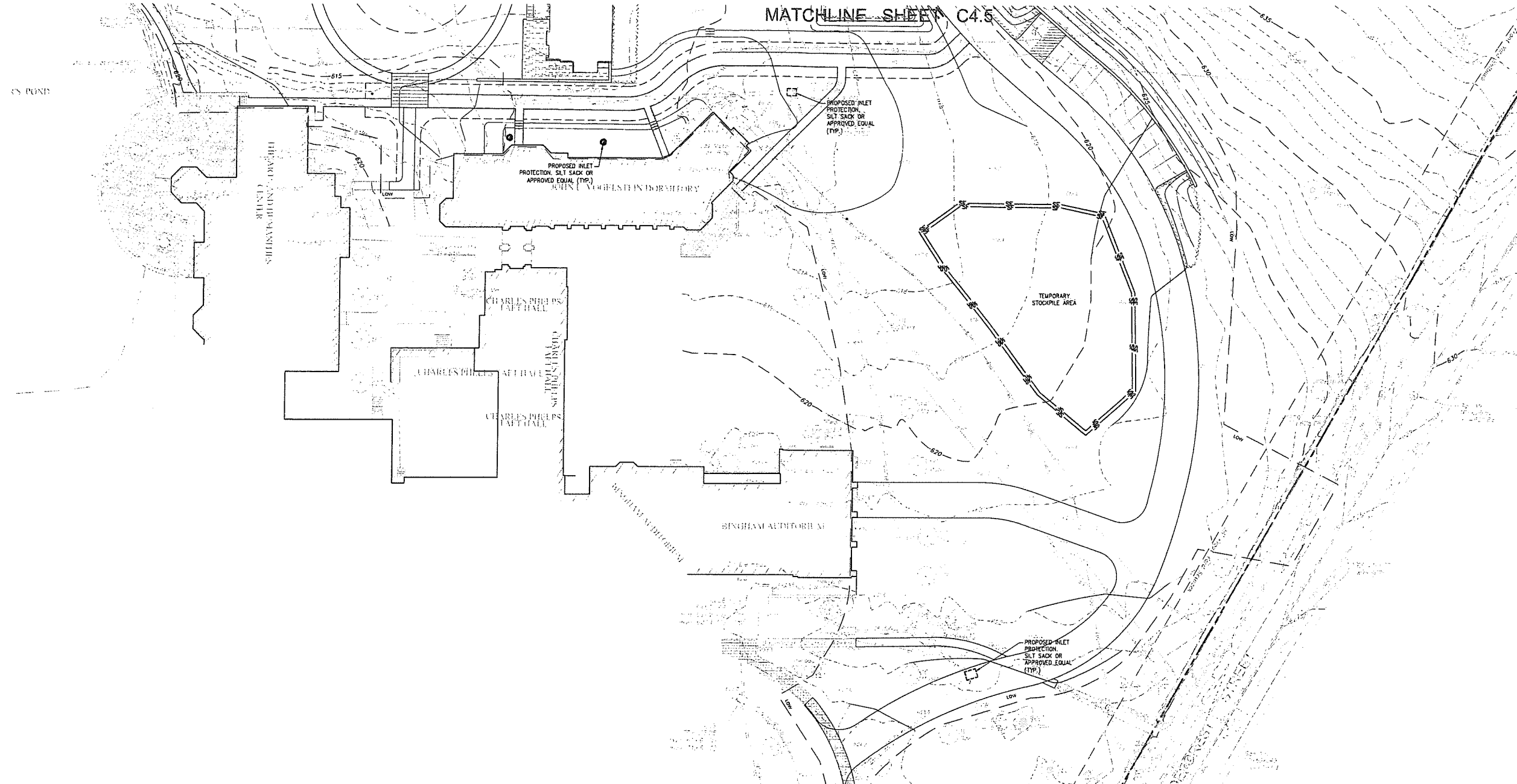
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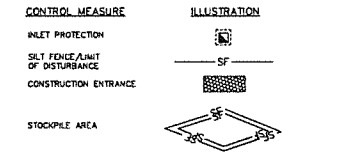


**EROSION CONTROL NOTES:**

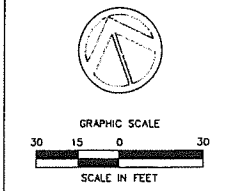
- AT ANY PARTICULAR TIME, LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM. RESTABILIZATION SHALL BE SCHEDULED AS SOON AS POSSIBLE. DO NOT WAIT FOR BUILDING CONSTRUCTION TO BE COMPLETED FOR STABILIZATION OF GRASS AND PAVED AREAS TO PROCEED. IF PERMANENT SLOPES CAN NOT BE COMPLETED IMMEDIATELY UPON THEIR PLACEMENT, TEMPORARY MULCH OR GRASS COVER SHALL BE ESTABLISHED.
- SILT FENCE AND/OR STRAW BALE BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS AT THE LOCATIONS SHOWN ON THE PLANS, AND STAKED IN PLACE. ALL SUCH PROTECTIVE MEASURES SHALL BE IN PLACE PRIOR TO ANY CUTTING OR FILLING PROCEEDS. INSTALL A ROW OF BRIGHT ORANGE CONSTRUCTION FENCING ALONG THE LIMIT OF LANDSCAPING/CONSTRUCTION DURING SILT FENCE INSTALLATION.
- CATCH BASINS SHALL BE PROTECTED WITH SILT FENCE, STRAW BALES, OR SILT SACKS THROUGHOUT THE CONSTRUCTION PERIOD. THE STRUCTURES SHALL BE ENCLOSED COMPLETELY AT LOW POINTS. ON SLOPED AREAS THE SILT FENCE SHALL FORM A POCKET TO TRAP WATER IMMEDIATELY UPSTREAM FROM THE STRUCTURE. STABILIZATION OF GRASS AND PAVED AREAS SHALL BE COMPLETE BEFORE REMOVAL OF THE FENCE.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "2024 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL."
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION UNLESS SPECIFIC PERMISSION IS OBTAINED FROM THE TOWN TO OTHERWISE PROCEED FOR SPECIFIC AREAS.
- ALL CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH EITHER PERMANENT, GRASS OR APPROVED GROUND COVER. CONTROL MEASURES SHALL BE INSPECTED BY THE SITE CONTRACTOR OR DESIGNATED REPRESENTATIVE BEFORE AND AFTER ALL RAIN STORMS GREATER THAN 0.1 INCH AND WEEKLY.
- THE PERSON RESPONSIBLE FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN IS THE SITE CONTRACTOR. HE SHALL BE RESPONSIBLE FOR DAILY INSPECTIONS, INSTALLATION AND MAINTENANCE OF THE EROSION CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN.
- ADDITIONAL CONTROL MEASURES SHALL BE IMMEDIATELY INSTALLED, AS REQUIRED BY THE INTENT OF THIS PLAN AND/OR IF REQUESTED BY THE TOWN. 200 FEET OF UNUSED SILT FENCE SHALL BE KEPT AVAILABLE ON THE SITE FOR THIS PURPOSE.
- ALL DISTURBED AND STOCKPILED MATERIALS SHALL BE SEEDED AS SOON AS POSSIBLE. IN THE CASE OF WINTER CONSTRUCTION, MULCH SHALL BE PLACED AND EROSION CONTROL MEASURES PLACED TO PREVENT WASHOUTS OF THE STOCKPILED MATERIAL. THE SAME REQUIREMENTS MAY BE NEEDED FOR CONSTRUCTION DURING OTHER SEASONS AS DIRECTED BY THE TOWN AND THE ENGINEER.
- STRAW OR MULCH WATTLES ARE ACCEPTABLE FOR USE INSTEAD OF STRAW BALES.
- A SCHEDULE OF PLANNED ACTIVITIES INCLUDING EROSION AND SEDIMENT CONTROL MEASURE INSTALLATION SHALL BE SUBMITTED TO THE TOWN ALONG WITH ANY OTHER REPORTS REQUESTED BY THE COMMISSION. PLANNED ACTIVITIES SHALL INCLUDE PLANNED PERIODS WHEN SEEDING AND/OR PAVING WILL BE PLACED, WHEN UTILITY LINES WILL BE INSTALLED, WHEN BUILDING CONSTRUCTION WILL TAKE PLACE AND WHEN CUTTING AND FILLING WILL OCCUR.
- REFER TO THE LANDSCAPE PLAN FOR SEEDING MIXTURES.
- HAY MULCH SHOULD BE APPLIED AT THE RATE OF TWO TONS PER ACRE (40 BALES PER ACRE) ON AREAS TO BE LEFT BARE FOR UP TO 30 DAYS. TEMPORARY SEEDING SHOULD BE USED ON THOSE AREAS FOR MORE THAN 30 DAYS.
- SOIL STABILIZATION SHALL BE COMPLETED WITHIN FIVE (5) DAYS OF CLEARING OR INACTIVITY IN CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE TOWN ENGINEER/ENVIRONMENTAL PLANNER/CONSERVATION OFFICER AT LEAST TWO WORKING DAYS BEFORE THE FOLLOWING:
  - START OF CONSTRUCTION
  - COMPLETION OF CLEARING LIMIT DEMARCATION
  - INSTALLATION OF E&S MEASURES
  - COMPLETION OF SITE CLEARING
  - COMPLETION OF ROUGH GRADING
  - COMPLETION OF FINAL GRADING
  - CLOSE OF CONSTRUCTION SEASON
  - COMPLETION OF FINAL LANDSCAPING
  - PRIOR TO THE REMOVAL OF CONSTRUCTION E&S CONTROL MEASURES
- ALL WASTE MATERIALS (INCLUDING WASTEWATER) SHALL BE

- DISPOSED OF IN ACCORDANCE WITH LOCAL STATE AND FEDERAL LAW. LITTER SHALL BE PICKED UP AT THE END OF EACH WORK DAY. CONCRETE WASHOUT ON-SITE MUST MEET THE FOLLOWING CONDITIONS:
- CONCRETE TRUCK WASHOUT SHALL BE DONE IN DESIGNATED AREAS ONLY OUTSIDE OF THE INLAND WETLANDS (REFER TO AREA SHOWN ON PLANS)
  - CONCRETE TRUCKS SHALL BE INFORMED OF DESIGNATED WASHOUT AREA TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES.
  - CONCRETE WASHOUT MATERIALS MUST BE CONTAINED WHERE WASTE CONCRETE CAN SOLIDIFY IN PLACE AND EXCESS WATER CAN SAFELY EVAPORATE.
  - TEMPORARY WASHOUT AREAS SHOULD HAVE A TEMPORARY PIT OR BERMED AREA LARGE ENOUGH TO CONTAIN ALL LIQUID AND WASTE CONCRETE MATERIALS FROM WASHOUT.
  - WEEKLY INSPECTIONS OF THE WASHOUT AREA SHALL BE CONDUCTED TO ASSESS THE HOLDING CAPACITY AND FUNCTIONALITY OF THE AREA.
- COVER OR WATER TEMPORARY SOIL STOCKPILES AND SITE TO PREVENT WIND EROSION AS NEEDED.
  - SITE CONTRACTOR SHALL PROVIDE WATER AND/OR CALCIUM CHLORIDE FOR DUST CONTROL DURING CONSTRUCTION.
  - DURING CONSTRUCTION, PILES OF FILL, ERODIBLE MATERIAL AND DEBRIS SHALL NOT BE CREATED WITHIN 100 FEET OF REGULATED INLAND WETLANDS AND WATERCOURSE AREAS UNLESS SPECIFICALLY AUTHORIZED IN THIS PERMIT.
  - ANY MATERIAL, MAN-MADE OR NATURAL, WHICH IS IN ANY WAY DISTURBED AND/OR UTILIZED DURING WORK HEREIN AUTHORIZED SHALL NOT BE DEPOSITED IN ANY WETLAND OR WATERCOURSE, EITHER ON OR OFF-SITE, UNLESS SPECIFICALLY AUTHORIZED IN THIS PERMIT.
  - THE PERMITTEE SHALL IMMEDIATELY INFORM THE INLAND WETLANDS ENFORCEMENT OFFICER OF PROBLEMS INVOLVING SEDIMENTATION, EROSION, DOWNSTREAM SEDIMENTATION, OR ANY OTHER ADVERSE IMPACTS WHICH DEVELOP IN THE COURSE OF OR CAUSED BY THE WORK HEREIN AUTHORIZED.
  - THE LOCATION OF THE TEMPORARY SEDIMENT TRAP AND WATER BARS ARE SHOWN TO MEET THE STANDARDS AND SPECIFICATIONS OF THE CT DEEP 2024 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL. THE CONTRACTOR MAY NEED TO PROVIDE ADDITIONAL SEDIMENT TRAPS AND/OR ADJUST THE LOCATION OF THE SEDIMENT TRAP BASED UPON THE CONSTRUCTION SCHEDULE AND SEQUENCE. THE CONTRACTOR SHALL REFER TO THE GUIDELINES FOR GUIDANCE.

**EROSION CONTROL LEGEND**



**Site Soils**  
SOIL TYPES REFERENCED FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE NATIONAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY  
Udorthents - Urban land Complex  
(HYDROLOGIC SOIL GROUP B)

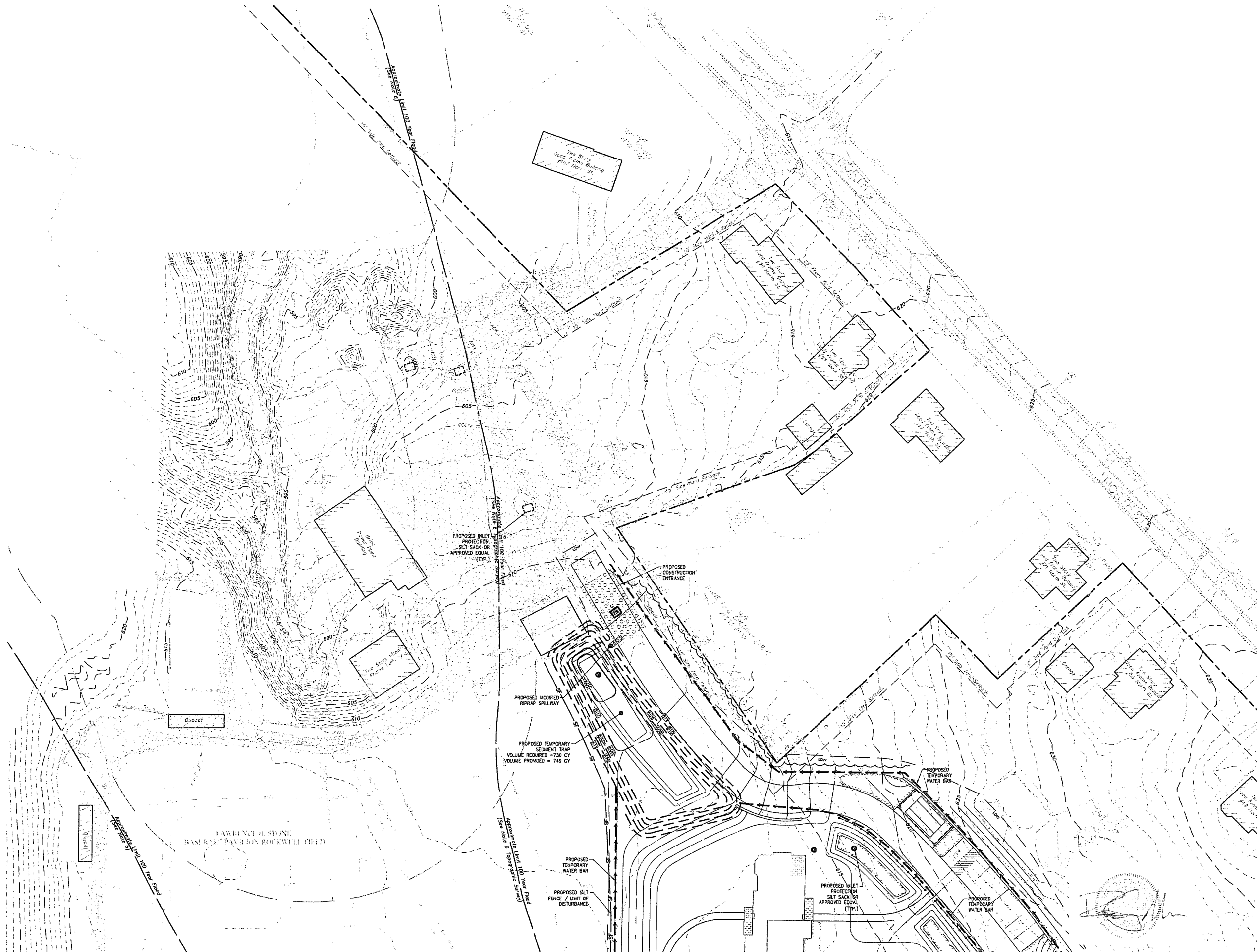


ZONING SUBMISSION  
NOT FOR CONSTRUCTION  
Revision  
Date January 21, 2026  
Title DORM 1 & 2 - SEDIMENTATION & EROSION CONTROL PLAN  
Scale 1"=30'  
Drawn By HT/RR

C4.2



Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.



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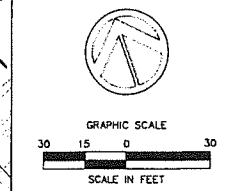
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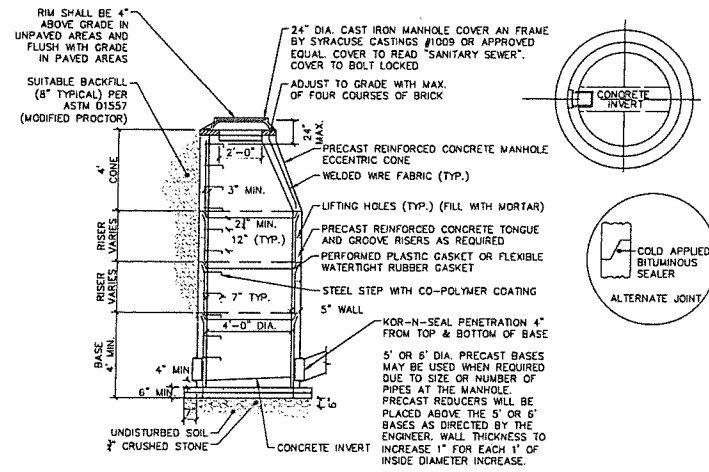
**LIGHTING DESIGN**  
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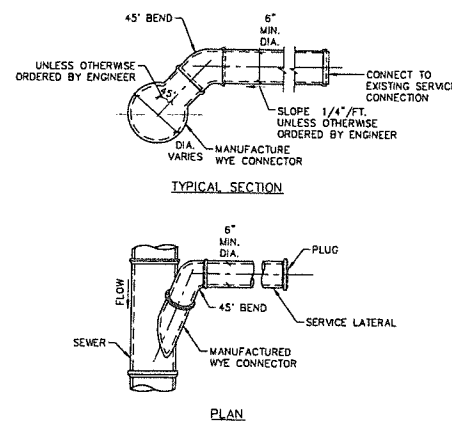
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**C4.3**

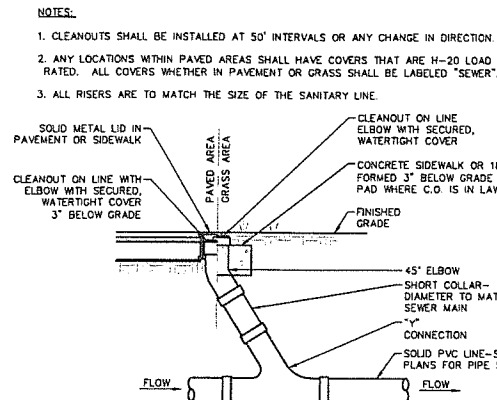
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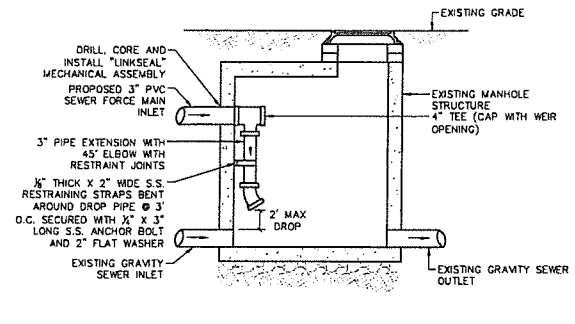
**SANITARY SEWER MANHOLE DETAIL**  
SCALE: NOT TO SCALE



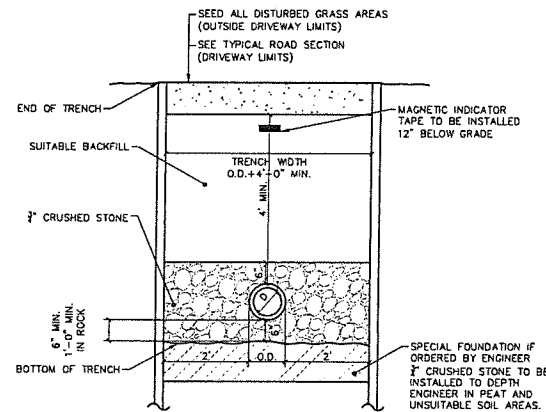
**SANITARY SERVICE LATERAL CONNECTION DETAIL**  
SCALE: NOT TO SCALE



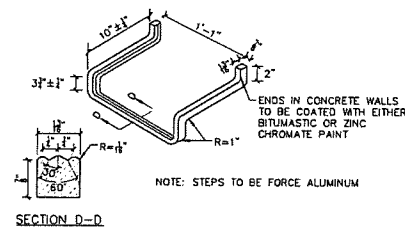
**SINGLE SEWER CLEANOUT DETAIL**  
SCALE: NOT TO SCALE



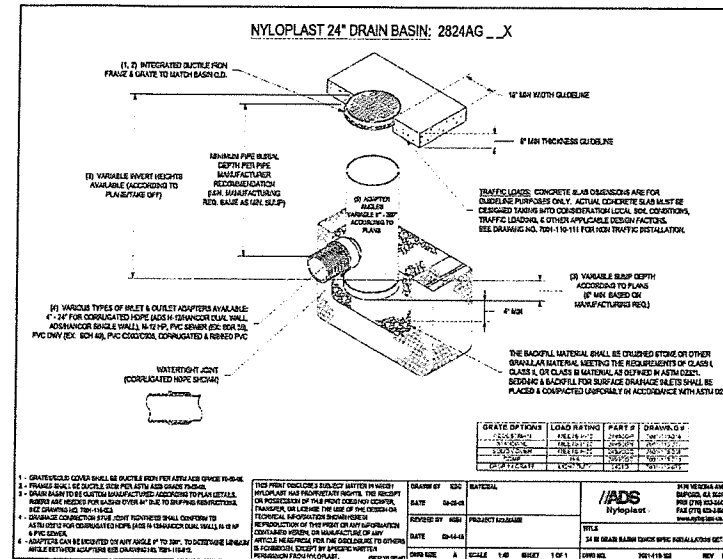
**PROPOSED FORCE MAIN TO EXISTING GRAVITY SEWER MANHOLE CONNECTION DETAIL**  
NOT TO SCALE



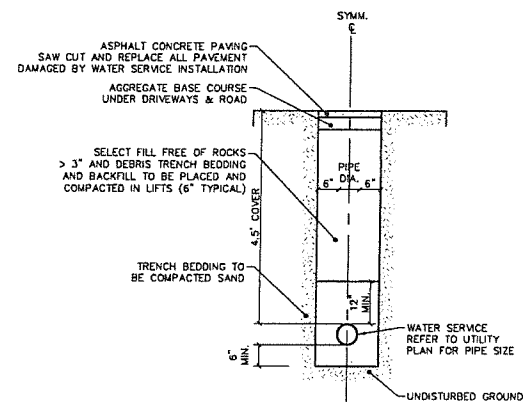
**SANITARY SEWER TRENCH DETAIL**  
SCALE: NOT TO SCALE



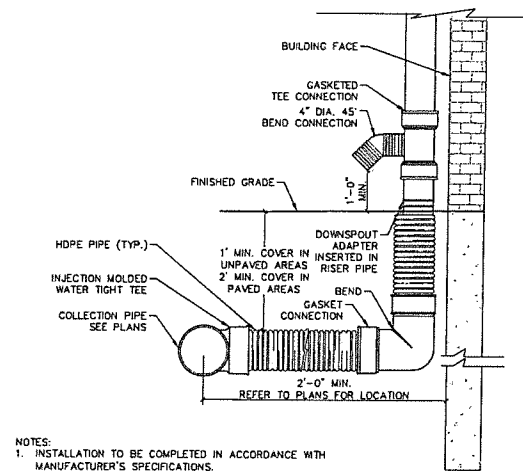
**STANDARD MANHOLE STEP DETAIL**  
SCALE: NOT TO SCALE



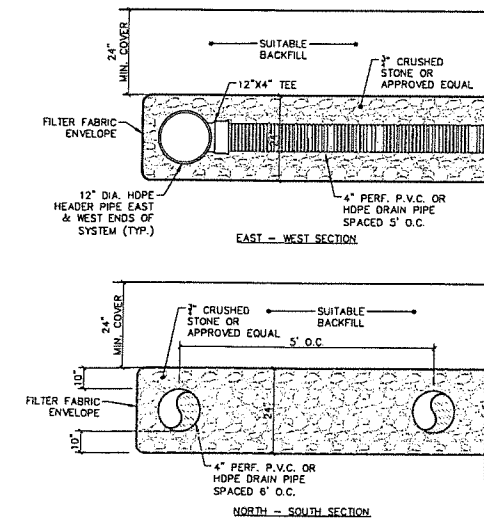
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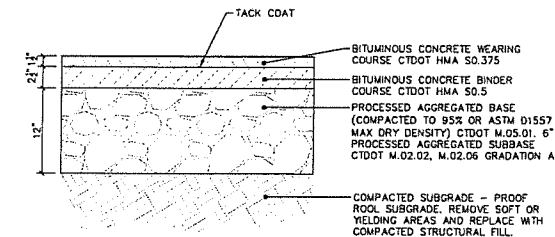
**WATER SERVICE TRENCH DETAIL**  
SCALE: NOT TO SCALE



**ROOF LEADER COLLECTION PIPE OVERFLOW DETAIL**  
NOT TO SCALE



**UNDERGROUND STORMWATER MANAGEMENT AREA DRAINAGE DETAIL**  
NOT TO SCALE



**BITUMINOUS CONCRETE ACCESS DRIVE DETAIL**  
NOT TO SCALE

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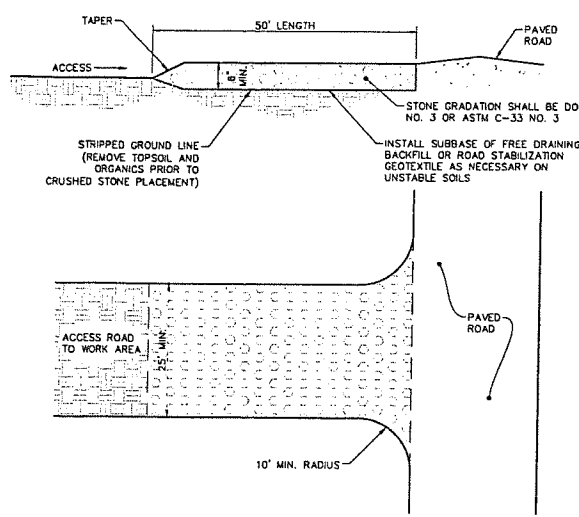
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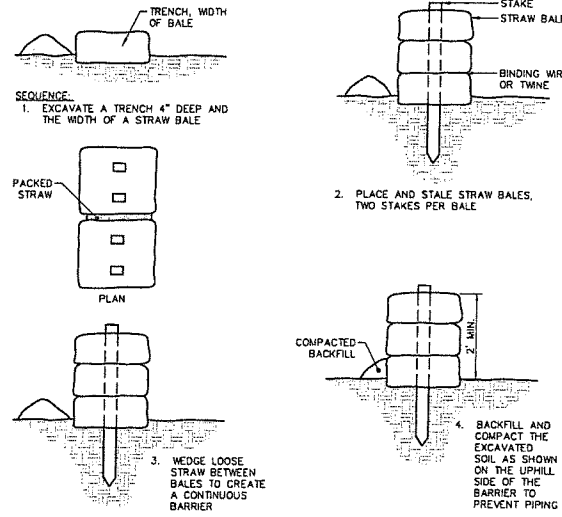
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C5.1

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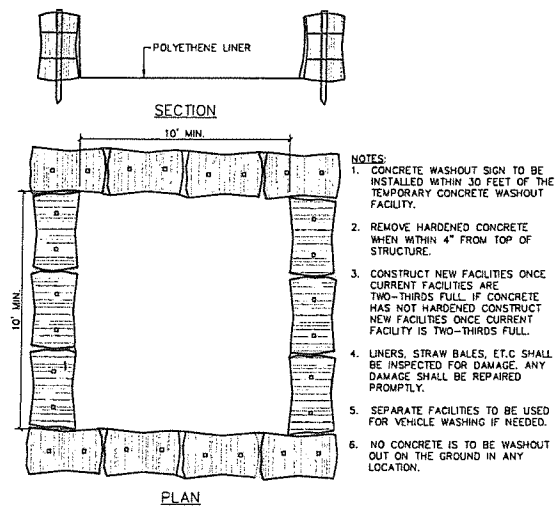


CONSTRUCTION ENTRANCE DETAIL  
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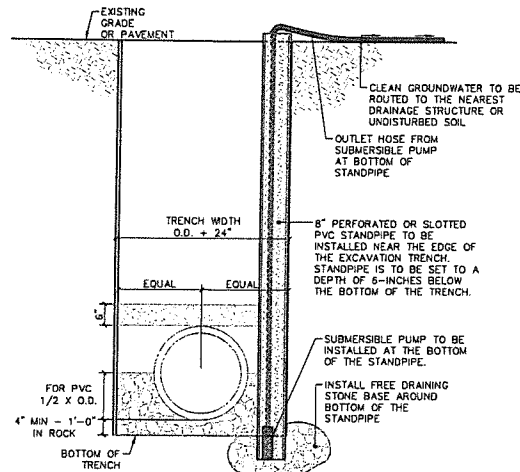


PLACEMENT AND CONSTRUCTION OF HAYBALE BARRIER  
NOT TO SCALE

SEDIMENTATION CONTROL BARRIER WITH STRAW BALE  
NOT TO SCALE

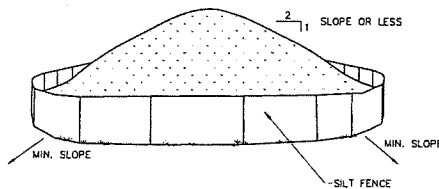


ABOVE GROUND TEMPORARY CONCRETE WASHOUT DETAIL  
NOT TO SCALE



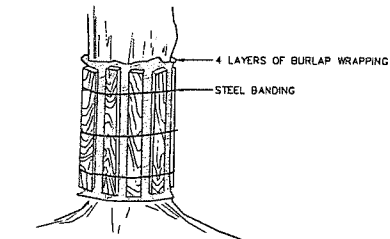
- NOTES:  
1. STANDPIPE LOCATIONS ARE TO BE FIELD DETERMINED BY THE SITE CONTRACTOR ON AS NEEDED BASIS. STANDPIPES SHOULD BE INSTALLED UPSTREAM OF TRENCHING ACTIVITIES FOR A LENGTH OF TIME DEEMED SUFFICIENT TO AID IN DEWATERING THE SUBSOIL.  
2. A GAS POWERED GENERATOR WILL ALSO BE REQUIRED TO POWER THE SUBMERSIBLE PUMP.  
3. SEDIMENT LADEN GROUNDWATER SHOULD BE PUMPED TO A "DIRT BAG" OR PUMPING SETTLING BASIN TO CLEAN THE RUNOFF BEFORE DISCHARGING. CONTRACTOR TO COORDINATE WITH ENGINEER BEFORE PUMPING

SUGGESTED TRENCH DEWATERING PRACTICE DETAIL  
NOT TO SCALE

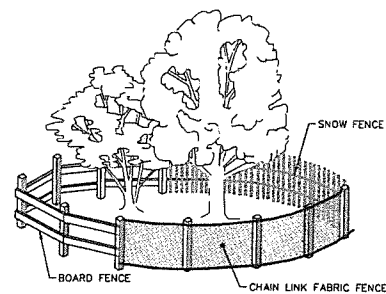


- NOTES:  
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.  
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1V:2H.  
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.  
4. SEE SPECIFICATIONS FOR INSTALLATION OF SILT FENCE.  
5. HAYBALES OR SILT SOCKS TO BE USED WHERE STOCKPILES ARE LOCATED ON PAVED AREAS.

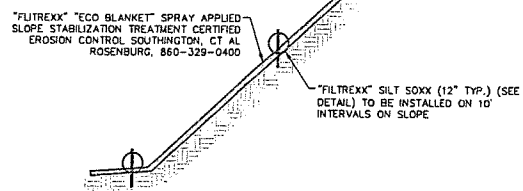
MATERIALS STOCKPILE DETAIL  
NOT TO SCALE



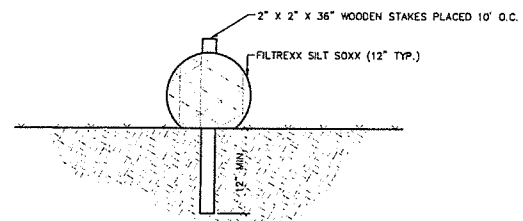
CONSTRUCTION AREA WHERE PAVED SURFACES MAKE IT IMPRACTICAL TO ESTABLISH TREE PROTECTION ZONES



FENCING AT TREE PROTECTION ZONES  
INSTALL ONE OF THE FENCE TYPES (MIN. FENCE HT. 42") NOTED ABOVE UNLESS SPECIFICALLY INDICATED ON PLANS. MAY BE INSTALLED CONTINUOUSLY AROUND GROUPS OF TREES TO REMAIN.

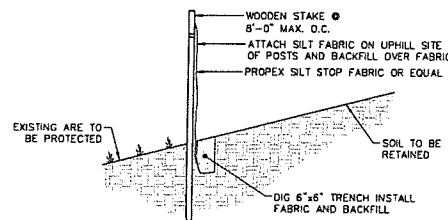


"ECOBANKET" SLOPE STABILIZATION DETAIL  
NOT TO SCALE



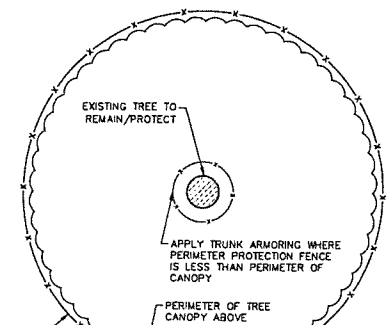
- NOTES:  
1. TRANSVERSE COUNTERTRACTION JOINTS SHOULD NOT BE CONSTRUCTED AT INTERVALS OF LESS THAN 25 FEET NOR MORE THAN 75 FEET. EXPANSION AND CONTRACTION JOINTS SHOULD NOT BE CONSTRUCTED AT INTERVALS OF MORE THAN 50 FEET.

FILTREXX SILT SOCK DETAIL  
NOT TO SCALE



- NOTE:  
FOR SLOPES > 5:1; PERPENDICULAR WINGS PLACED EVERY 100'  
FOR SLOPES > 3:1 TO 5:1; PERPENDICULAR WINGS PLACED EVERY 75'  
FOR SLOPES > 2:1 TO 3:1; PERPENDICULAR WINGS PLACED EVERY 50'

SILT FENCE DETAIL  
NOT TO SCALE



PROTECTION FENCING TYPICAL AT OR BEYOND PERIMETER OF TREE CANOPY OF DECIDUOUS TREES AND 1.5X DIA. CANOPY FOR EVERGREEN TREES

TREE PROTECTION DETAIL  
NOT TO SCALE

NOTES:

1. BLANKET IS TO BE INSTALLED ON ANY FINISHED SLOPES WHERE INDICATED ON THE CONTRACT DRAWINGS OR REQUIRED BY FIELD CONDITIONS:

EROSION CONTROL BLANKET SHALL BE NORTH AMERICAN GREEN SC 150 OR SHALL BE A GREEN, WOOD FIBER MAT CONSTRUCTED FROM 100% ASPEN CURLED FIBERS WITH A GREEN PHOTO-DEGRADABLE NETTING APPLIED TO ONE SIDE. EROSION CONTROL BLANKET TO BE AS MANUFACTURED BY AMERICAN EXCELSIOR COMPANY, ARLINGTON, TX, "QUICK GRASS" OR APPROVED EQUAL.

EROSION CONTROL BLANKET DETAIL  
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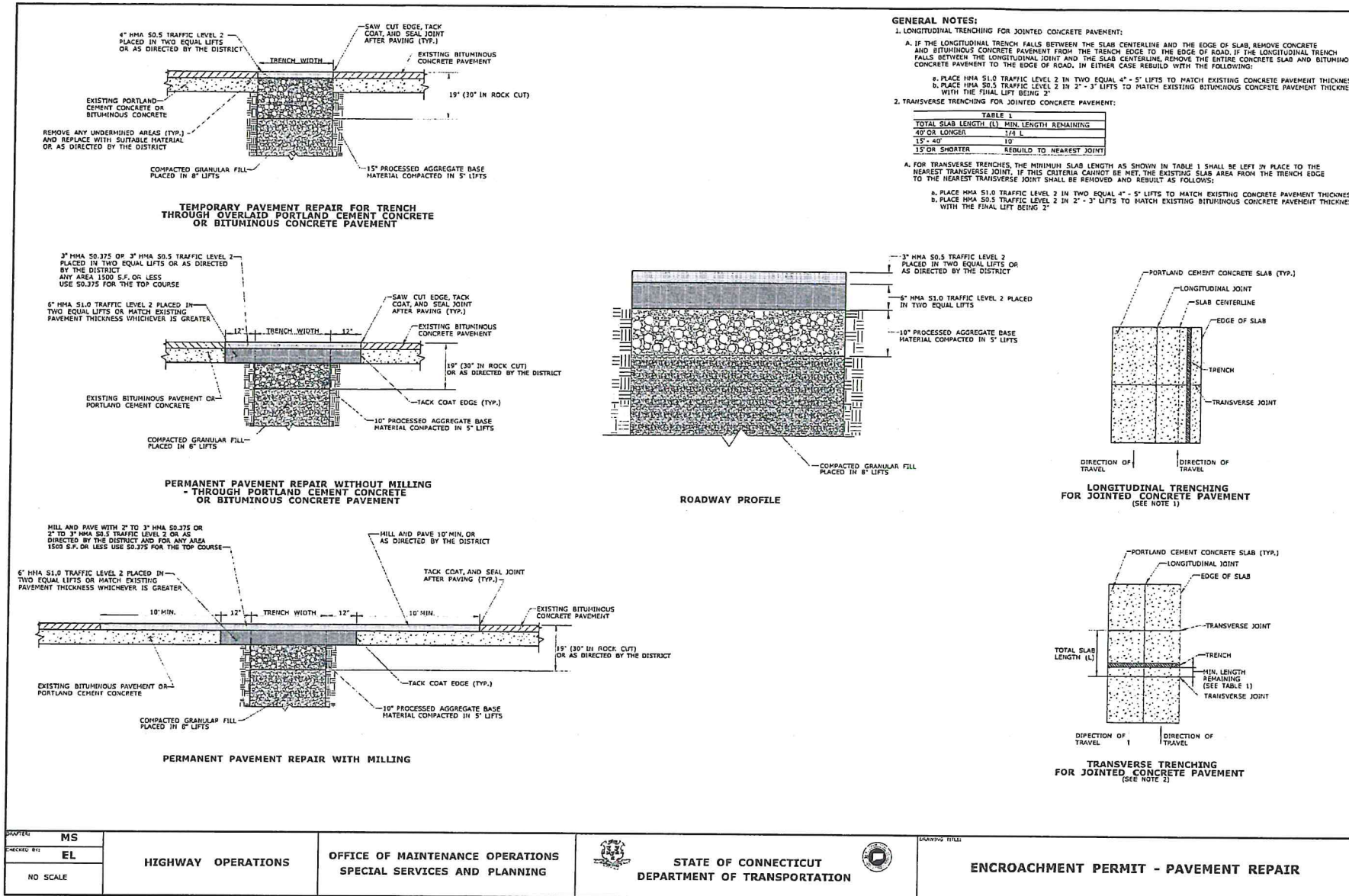
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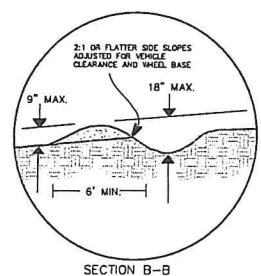
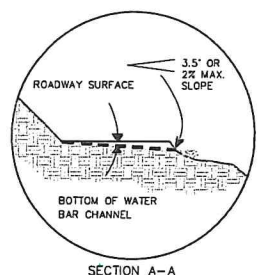
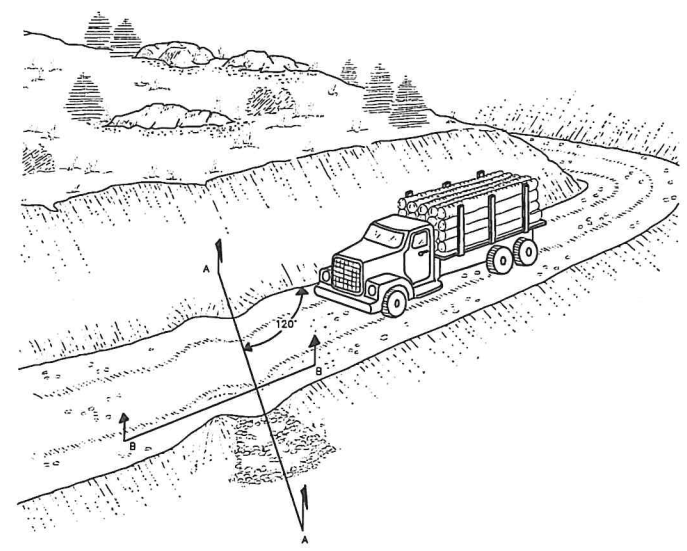
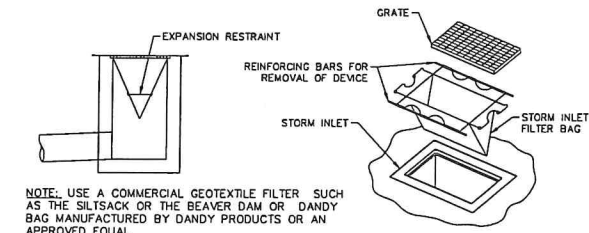
Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.



### UTILITY INSTALLATIONS UNDER ENCROACHMENT PERMITS

Work performed within the Connecticut Department of Transportation's right-of-way paved roadway should be in compliance with the Standard Specifications for Roads, Bridges, Facilities and Incidental Construction; including all supplements and revisions, Encroachment Permit-Pavement Repair Drawing and other applicable standards.

Bituminous Concrete: Section 4.06	3" HMA S0.5 TRAFFIC LEVEL 2, PLACED IN TWO EQUAL LIFTS OR AS DIRECTED BY THE PERMIT INSPECTOR
	6" HMA S1.0 TRAFFIC LEVEL 2, PLACED IN TWO EQUAL LIFTS OR MATCH EXISTING PAVEMENT OR PORTLAND CEMENT CONCRETE THICKNESS, WHICHEVER IS GREATER <i>Minimum of 92% Compaction</i>
Processed Aggregate Base: Section 3.04 Spec. M.05.01	10" PROCESSED AGGREGATE BASE MATERIAL COMPACTED IN 5" LIFTS <i>Minimum of 95% Compaction</i>
Compacted Granular Fill: Section 2.14 Spec. M.02.02	PLACE IN 8" LIFTS OR AS DIRECTED BY THE PERMIT INSPECTOR <i>Minimum of 95% Compaction</i>
Bedding Material: Spec. M.08.03	Apex 1 foot of Bedding Cover
	Bedding <b>MAIN</b> Bedding/Stone



WATER BAR DETAIL  
NOT TO SCALE

DESIGNED BY: MS	HIGHWAY OPERATIONS	OFFICE OF MAINTENANCE OPERATIONS SPECIAL SERVICES AND PLANNING	STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION	DRAWING TITLE: ENCROACHMENT PERMIT - PAVEMENT REPAIR
CHECKED BY: EL				
NO SCALE				

Student Dormitory  
The Taft School  
110 Woodbury Rd  
Watertown, CT 06795

ARCHITECT  
Voith & Macarivich Architects LLP  
2401 Walnut Street, 6th Floor  
Philadelphia, PA 19103  
phone 215-545-4544  
fax 215-545-3299  
voithandmacarivich.com

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keasthood.com

MEP ENGINEER  
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CIVIL ENGINEER  
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phone (860) 635-2877  
lrcconsult.com

LANDSCAPE DESIGN  
TL Studio  
110 King Philip Road Unit 2A  
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AVIATION SECURITY  
NV5  
1315 Walnut St #900  
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phone (215) 751-1133  
nv5.com

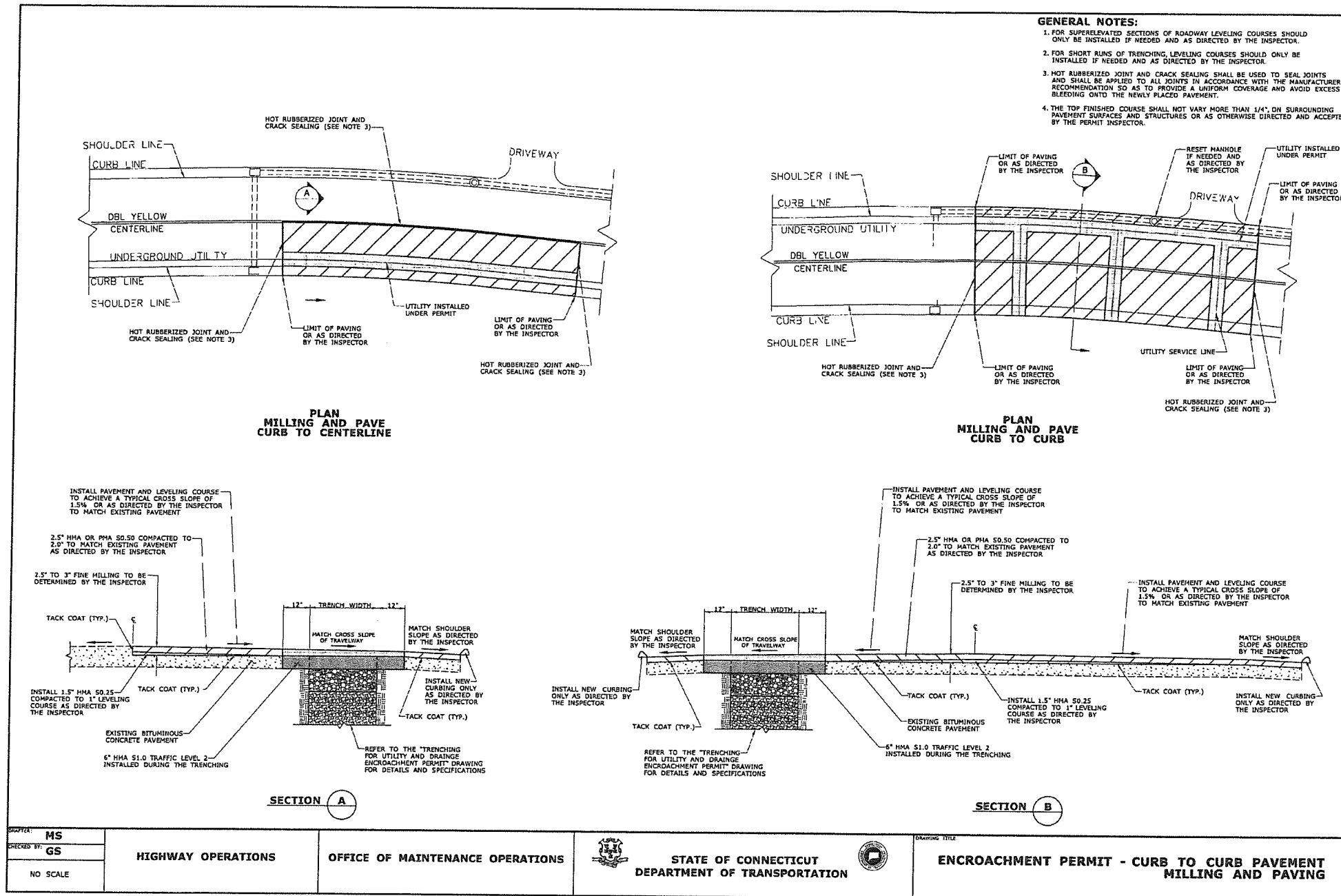
LIGHTING DESIGN  
O'Donoghue Lighting  
1816 S. 2nd Street  
Philadelphia, PA 19148  
phone (215) 519-4788

ZONING SUBMISSION  
NOT FOR CONSTRUCTION  
Revision  
Date: January 21, 2026  
Title: DORM 1 & 2 -  
CONSTRUCTION DETAILS  
Scale: AS NOTED  
Drawn By: HT/RR



C5.3

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.



- GENERAL NOTES:**
- FOR SUPERELEVATED SECTIONS OF ROADWAY LEVELING COURSES SHOULD ONLY BE INSTALLED IF NEEDED AND AS DIRECTED BY THE INSPECTOR.
  - FOR SHORT RUNS OF TRENCHING, LEVELING COURSES SHOULD ONLY BE INSTALLED IF NEEDED AND AS DIRECTED BY THE INSPECTOR.
  - HOT RUBBERIZED JOINT AND CRACK SEALING SHALL BE USED TO SEAL JOINTS AND SHALL BE APPLIED TO ALL JOINTS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION SO AS TO PROVIDE A UNIFORM COVERAGE AND AVOID EXCESS BLEEDING ONTO THE NEWLY PLACED PAVEMENT.
  - THE TOP FINISHED COURSE SHALL NOT VARY MORE THAN 1/4" ON SURROUNDING PAVEMENT SURFACES AND STRUCTURES OR AS OTHERWISE DIRECTED AND ACCEPTED BY THE PERMIT INSPECTOR.

DESIGNED BY: MS	HIGHWAY OPERATIONS	OFFICE OF MAINTENANCE OPERATIONS	STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION	ENCROACHMENT PERMIT - CURB TO CURB PAVEMENT MILLING AND PAVING
CHECKED BY: GS				
NO SCALE				

**1.0 POST CONSTRUCTION INSPECTION & MAINTENANCE**

Post-construction, regularly scheduled inspections and maintenance will be necessary to ensure the permanent structural features such as the stormwater management area, rain gardens and the stormwater conveyance system components remain optimally functional and continue to reduce the risk of sediment loading of inland wetlands and surface water bodies.

When construction is complete, the Contractor will remain responsible for the site until the entire site has reached final stabilization. The site is considered stabilized when all soil disturbing activities have been completed and a full uniform, perennial vegetative cover has been established or equivalent stabilization measures such as the use of mulches or geotextiles have been employed on all unpaved areas and areas not covered by permanent structures. Weekly inspections should continue until the site has reached this point. Additionally, visual inspections should be performed after every rain event of 0.5 inches or more in 24-hours for the lifetime of the permanent stormwater control measures.

At the time of final stabilization, the Owner's Engineer shall perform a final inspection of the site and certify that the site has successfully undergone final stabilization using either vegetative or structural stabilization methods and that all temporary erosion and sediment controls such as silt fences, not needed for long term use, have been removed. At this point, the Owner is responsible for the following:

- The project construction shall disturb between one and five acres and adhere to the erosion and sediment control land use regulations of the municipality in which the construction activity is conducted. No registration to CTDEEP is required provided that a land use commission of the municipality reviews and issues a written approval.
- Identify all the permanent stormwater management structures that have been constructed. Land Owner shall familiarize himself with the maintenance requirements for the stormwater management area and the stormwater conveyance system components included herein.
- Certify that the permanent structures have been constructed in accordance with the approved plans

and manufacturer's recommendations and requirements.

The Land Owner shall undertake responsibility of inspecting and maintaining drainage and erosion control features over the lifetime of the structures. Maintenance personnel, employed by the Land Owner, must be aware of the operation and maintenance of the stormwater conveyance system and should be trained to recognize signs that stabilization measures may not be performing optimally or are failing. The inspection of on-site stabilization measures will become part of routine preventive maintenance practices by the Land Owner. Inspections should be performed after rain events of 0.5 inches or greater in a 24-hour period for the lifetime of the permanent stormwater control measures and at a minimum of twice per year (April 1st and Nov 1st). Inspections and maintenance should be performed as described below within this section.

**1.1 Inspection**

Overall Site Inspection

The overall site, embankments, vegetation and stormwater conveyance system components including stormwater management area, outlet structure, outlet pipe, catch basin sumps, rain gardens, culverts and swales should be inspected after every major rain event of 0.5 inch or greater in a 24-hour period for the lifetime of the permanent stormwater control measures and twice per year (April 1st and Nov 1st). The inspections should include but are not limited to:

- Density and condition of vegetation and ground cover.
- Erosion, differential settlement or cracking of embankment.
- Bulging or sliding of toe of embankments.
- Sedimentation of on-site or downstream water bodies.
- Sedimentation of culverts or swales.
- Sedimentation of lawn areas, paved areas, or catch basin sumps. Parking Area Surface Cleaning - All paved parking areas shall be swept annually between April 1st and July 1st.
- Damage or fatigue of storm sewer structures or associated components.
- Accumulation of sediment and debris at paved

catch basin grades. All basin rim areas and sumps shall be kept clear of sediment, trash, and debris. All catch basins shall be inspected annually between May 1st and September 15th and sumps shall be cleaned when the depth of accumulated material exceeds 1 foot. Hooded outlets shall be visually inspected for damage. Repair or replace as necessary.

**1.2 Maintenance**

Overall Site Maintenance

Maintaining vegetative and structural measures for soil protection is necessary to keep the storm water conveyance system functioning properly. Maintenance should occur after every major rain event of 0.5 inch or greater in a 24-hour period for the lifetime of the permanent stormwater control measures and twice per year (April 1st and Nov 1st), and should include but is not limited to:

**Seasonal Maintenance**

- Vegetated areas should be maintained to promote vigorous and dense growth. Lawn areas should be mowed at least three times a year but may require more frequent mowings depending on the growth rate.
- Accumulation of litter and debris should be removed during each mowing or sweep operation. Parking Area and Access Drive Surface Cleaning - All paved parking areas shall be swept annually between April 1st and July 1st.
- Structural components of the storm sewer system such as culverts (including sumps) which require repair or replacement should be addressed immediately following identification. All basin rim areas and sumps shall be kept clear of sediment, trash, and debris. All catch basins shall be inspected annually between May 1st and September 15th and sumps shall be cleaned when the depth of accumulated material exceeds 1 foot. Outlet control structures shall be inspected annually between May 1st and September 15th. Debris and sediment within the structures shall be removed annually.

Swale and drainageway maintenance will include periodic mowing, occasional spot reseed and weed control. Weeds and woody plants should be eradicated or cut back since they reduce the efficiency of the drainageway.

**Winter Maintenance**

- Remove snow and ice from catch basin grates and rain gardens.
- Snow removed from paved areas should not be piled in rain gardens or on the catch basin grates.
- Use of deicing materials should be limited to sand and environmentally friendly chemical products. Use of sand environmentally friendly products should be kept to a minimum. Environmentally friendly products shall consist of calcium magnesium acetate, calcium chloride or magnesium chloride.
- Sand used for deicing should be clean, coarse material free of fines, silt, and clay.
- Materials used for deicing should be removed during the early spring by sweeping and/or vacuuming. Parking Area Surface Cleaning - All paved parking areas shall be swept annually between April 1st and July 1st.

**CONSTRUCTION TIME SCHEDULE**

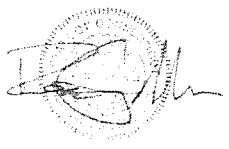
- The construction of the proposed site improvements required on the lot will take approximately 12 months to complete. Start construction as soon as possible (Summer 2026).
- All erosion control measures shall be in place and inspected prior to start of construction.
- STOCKPILE AREAS: Loam and fill stockpile areas shall be seeded per the temporary seeding schedule as soon as possible with minimal disturbance after that time, until the material is required for final installation. All areas of the site not finished graded shall be seeded per the temporary seeding schedule.

**CONSTRUCTION SEQUENCE**

- Contact the Town of Watertown at least 48 hours prior to commencement of construction activities.
- Clear and grub the area for building, access drive and parking area construction. Stockpile topsoil.
- Install construction entrance.
- Install all fence around perimeter of the project, limit of disturbance.
- Stockpile topsoil to re-use in final landscaping.
- Install double row of silt fence around stockpile areas.
- Construct temporary sediment trap and water bars for use during construction.
- Begin site grading. Construct Rain Gardens and install proposed storm drainage.
- Begin site grading for the construction of the buildings.
- Begin construction of buildings, access drive, parking area and quad area storm drainage.
- Install proposed utilities, septic system & well.
- Install bituminous concrete binder course, concrete and bituminous concrete curbs.
- Install gutters.
- Piece topsoil, seed, fertilizer and mulch in accordance with the permanent seeding schedule on all disturbed areas. Install landscaping.
- Install pavement markings and signage.
- Erosion and sediment control measures shall be removed following stabilization of the site.

**WETLANDS APPLICATION DATA**

- The project consists of the construction of a two residential dorm buildings, parking areas, access drive, site lighting, storm drainage, utilities and landscaping for the campus.
- The drainage system consists of yard drains, pipes, an underground stormwater management system for the roof water runoff and an excavated stormwater management area for parking area and access drive runoff. The systems are designed to accommodate the increase in runoff from the proposed development due to the change in surface coverage (grass to impervious or woods to impervious). The systems are designed to attenuate the proposed stormwater runoff to resemble the predevelopment flow characteristics for all of the storms analyzed (2, 10, 25 and 100 year).
- The wetlands were delineated by David Lord and field located by Land Resource Consultants Engineering & Engineering LLC.
- The project area contains approximately 6.37 acres of land. An area of inland wetlands exists adjacent to the project area (existing pond) equals 41,242 square feet (0.95 acres). The upland review area disturbance for the proposed site grading and the construction of a walking path equals 32,615 square feet (0.75 acres).



**Student Dormitory**  
**The Taft School**  
 110 Woodbury Rd  
 Watertown, CT 05785

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**ARCHITECT**  
 Voith & Mactavish Architects LLP  
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 fax 215-545-3299  
 voith@mactavish.com

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 keast@hood.com

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**MEP ENGINEER**  
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**CIVIL ENGINEER**  
 Land Resource Consultants Engineering & Surveying, LLC  
 160 West Street Suite E  
 Cromwell, CT 06416  
 phone (860) 635-2877  
 lrcoonsult.com

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**LANDSCAPE DESIGN**  
 TL Studio  
 110 King Philip Road Unit 2A  
 Rumford, RI 02916  
 phone (401) 383-3574  
 tlstudioinc.com

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**AVR/SECURITY**  
 NVS  
 1315 Walnut St #900  
 Philadelphia, PA 19107  
 phone (215) 751-1133  
 nvs.com

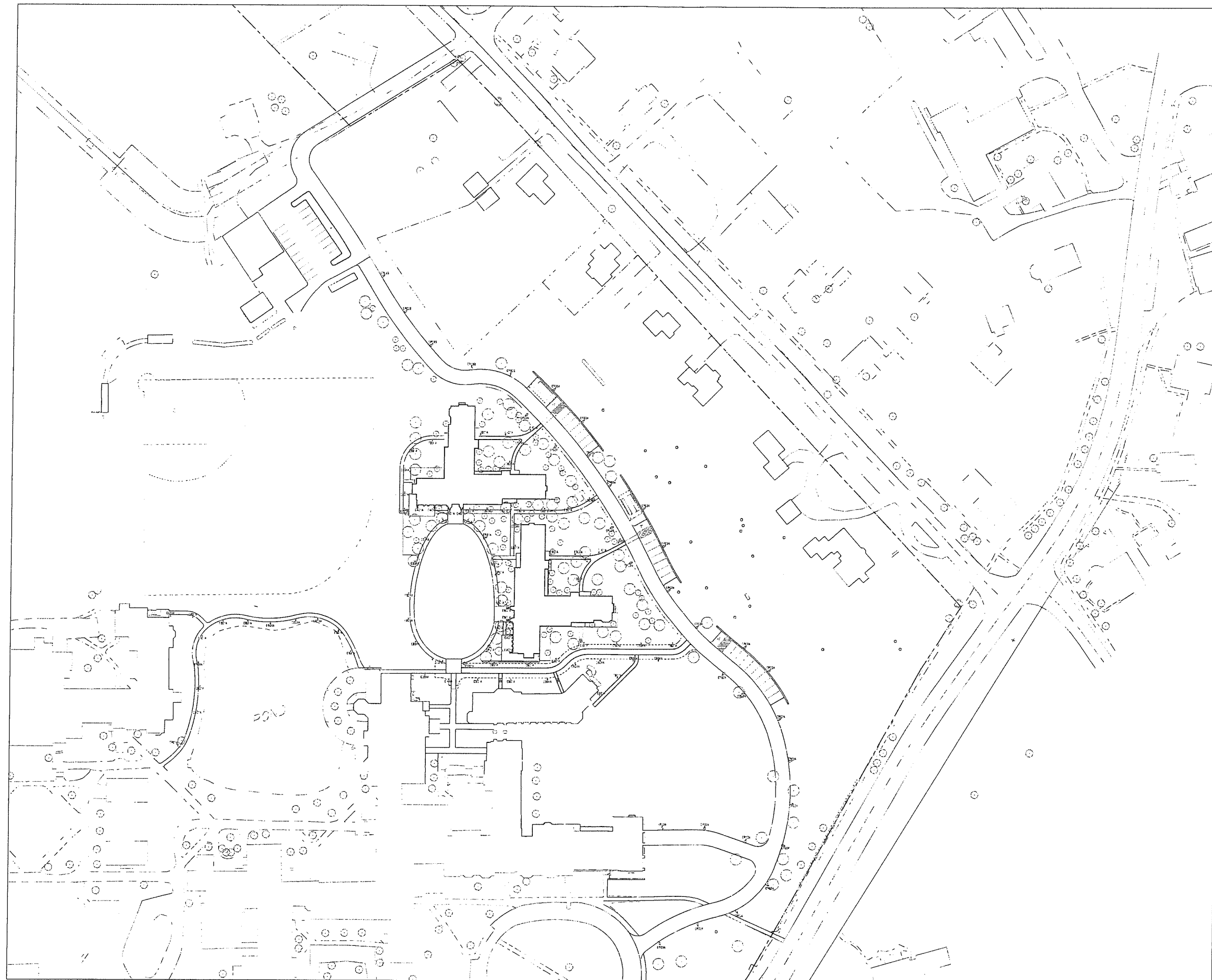
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**LIGHTING DESIGN**  
 O'Donoghue Lighting  
 1816 S. 3rd Street  
 Philadelphia, PA 19148  
 phone (215) 518-4788

**ZONING SUBMISSION**  
 NOT FOR CONSTRUCTION  
 Revision  
 Date January 21, 2026  
 Title DORM 1 & 2 -  
 CONSTRUCTION DETAILS  
 Scale AS NOTED  
 Drawn By HT/RR

C5.4

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.



**Student Dormitory  
The Taft School**

110 Waterbury Rd  
Watertown, CT 06795

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**STRUCTURAL ENGINEER**  
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Philadelphia, PA 19103  
phone 215-625-0099

**MEP ENGINEER**  
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93 Lake Ave  
Danbury, CT 06810  
phone 203-778-1017

**CIVIL ENGINEER**  
Land Resource Consultants Engineering  
& Surveying, LLC  
160 West St Suite E  
Cromwell, CT 06416  
phone 860-635-2877

**LANDSCAPE DESIGN**  
TL Studio  
110 King Philip Rd Unit 2A  
Rumford, RI 02916  
phone 401-383-3574

**AV / IT / SECURITY**  
NVS  
1315 Walnut ST #900  
Philadelphia, PA 19107  
phone 215-751-1133

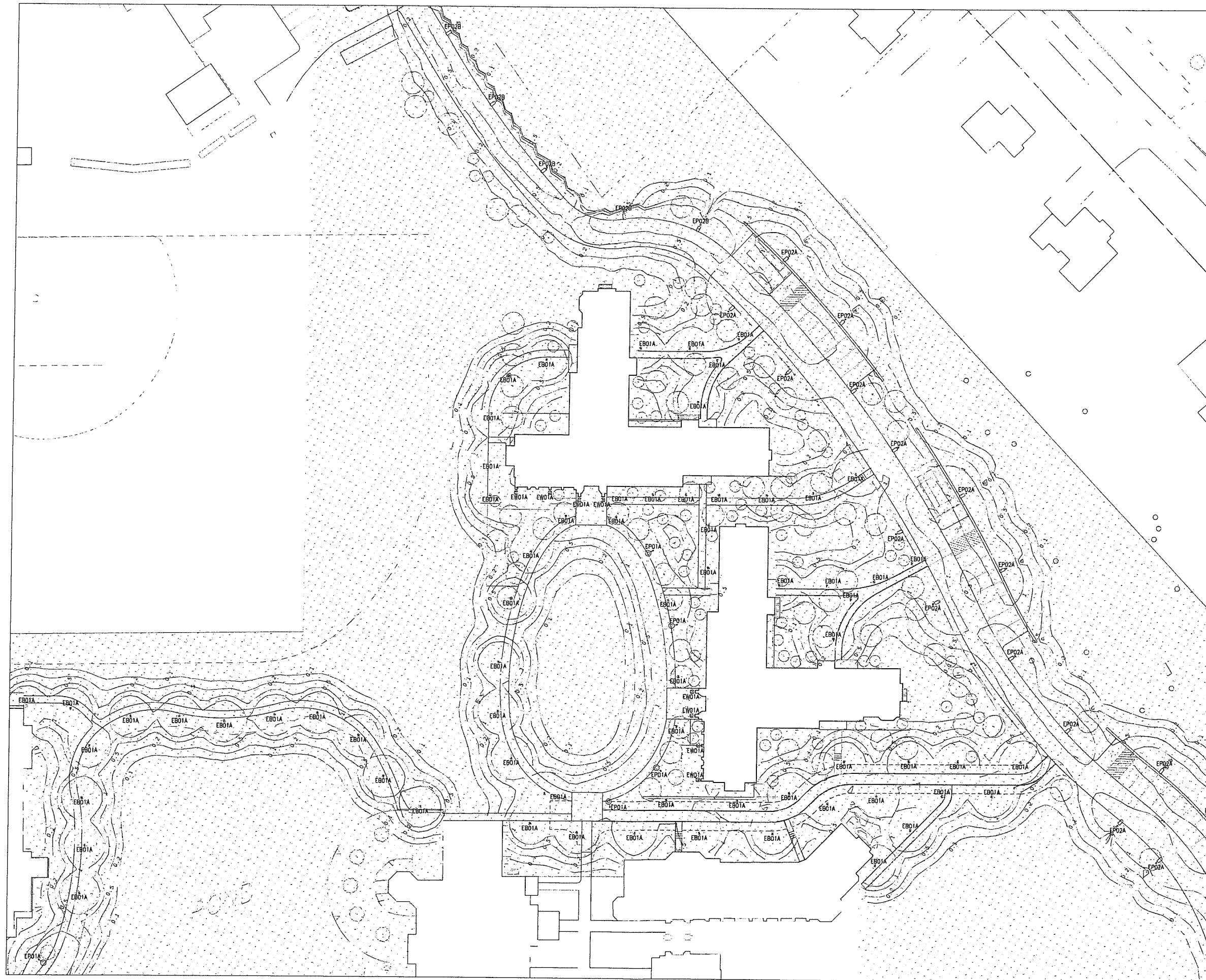
**LIGHTING DESIGN**  
O'Donohoe Lighting  
1816 S. 2nd St  
Philadelphia, PA 19148  
phone 215-518-4788

**REVISIONS**  
Revision  
Date January 21, 2026  
Title Site Lighting Plan

Scale 1" = 60'-0"  
Drawn By JOD

**LI-1.0**

Contractor to verify all dimensions on field and inform Architect of any discrepancies before starting work



**Student Dormitory  
The Taft School**

110 Waterbury Rd  
Watertown, CT 06795

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**LIGHTING DESIGN**  
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Philadelphia, PA 19148  
phone 215-516-4788

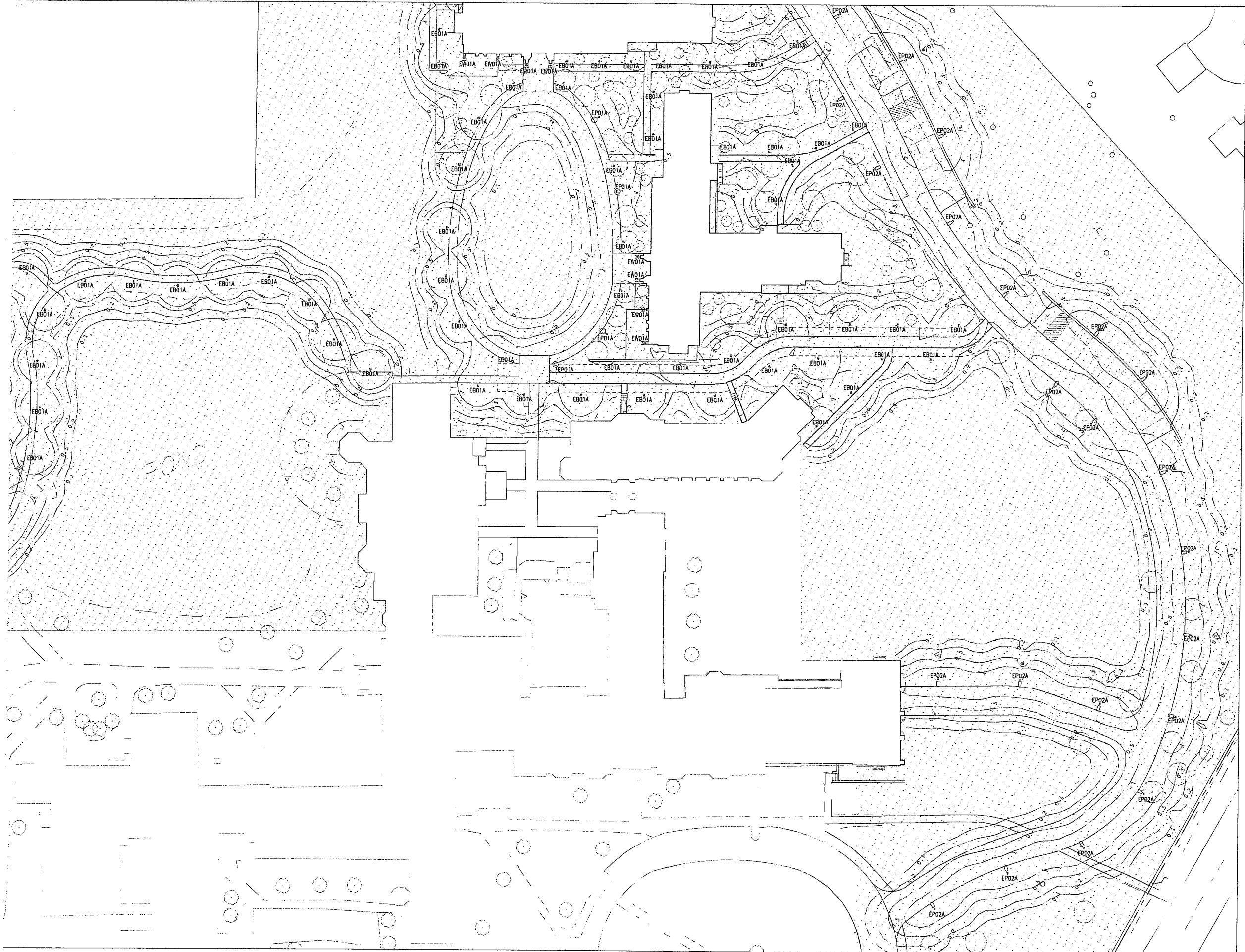
**REVISION SUBMISSION  
NOT FOR CONSTRUCTION**

Revision	Date	Title
	January 21, 2026	North Site Lighting Plan Photometry

Scale 1" = 30'-0"  
Drawn By JOD

**LI-1.1**

Contractor to verify all dimensions on field and return  
Architect of any discrepancies before starting work



**Student Dormitory  
The Taft School**

110 Waterbury Rd  
Watertown, CT 06795

**ARCHITECT**  
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phone 215-543-4544  
voithandmactavish.com

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**CIVIL ENGINEER**  
Land Resource Consultants Engineering  
& Surveying, LLC  
160 West St Suite E  
Cromwell, CT 06416  
phone 860-635-2877

**LANDSCAPE DESIGN**  
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Rumford, RI 02916  
phone 401-383-2574

**AV / IT / SECURITY**  
NV5  
1315 Walnut ST #900  
Philadelphia, PA 19107  
phone 215-751-1133

**LIGHTING DESIGN**  
O'Donohoe Lighting  
1816 S. 2nd St  
Philadelphia, PA 19148  
phone 215-518-4788

**GENE SUBMISSION  
NET FOR CONSTRUCTION**  
Revision  
Date January 21, 2026  
Title South Site  
Lighting Plan  
Photometry

Scale 1" = 30'-0"  
Drawn By JOD

**LI-1.2**

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work



Ashford Woods LLC  
69 East Street  
Bethlehem, CT 06751

February 23, 2026

Watertown Planning & Zoning Commission  
61 Echo Lake Road  
Watertown, CT 06795

Dear commission members,

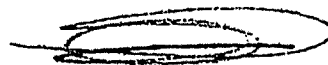
At the request of the land use administrator, I would like to submit a formal request to remove item #4: requirement for fencing around detention pond, at the Ashford Woods LLC subdivision located between Georgetown Drive and Bunker Hill Road.

Upon meeting with Paul Bunevich, the Town Engineer, and review of his written input dated Jan 5, 2026, it was indicated that the Public Works Department supports the elimination of this requirement due to maintenance concerns. He further indicated that most of the existing municipal and private ponds of this nature throughout the Town have no fencing.

I agree with this assessment. Fencing of this nature is not only an eyesore but also creates unnecessary maintenance costs for the Town. I have attached the Town Engineer's correspondence as well as photos of other ponds throughout the Town.

We look forward to your support of this minor modification.

Sincerely,



George Touponse  
Ashford Woods LLC



G3 <georgetouponse@gmail.com>

**Ashford Woods Subdivision - Georgetown Drive - Watertown**

Paul Bunevich <Bunevich@watertownct.org>

Mon, Jan 5, 2026 at 3:51 PM

To: G3 <georgetouponse@gmail.com>

Cc: Gerald Lukowski <Lukowski@watertownct.org>, Joseph Millette <Millette@watertownct.org>

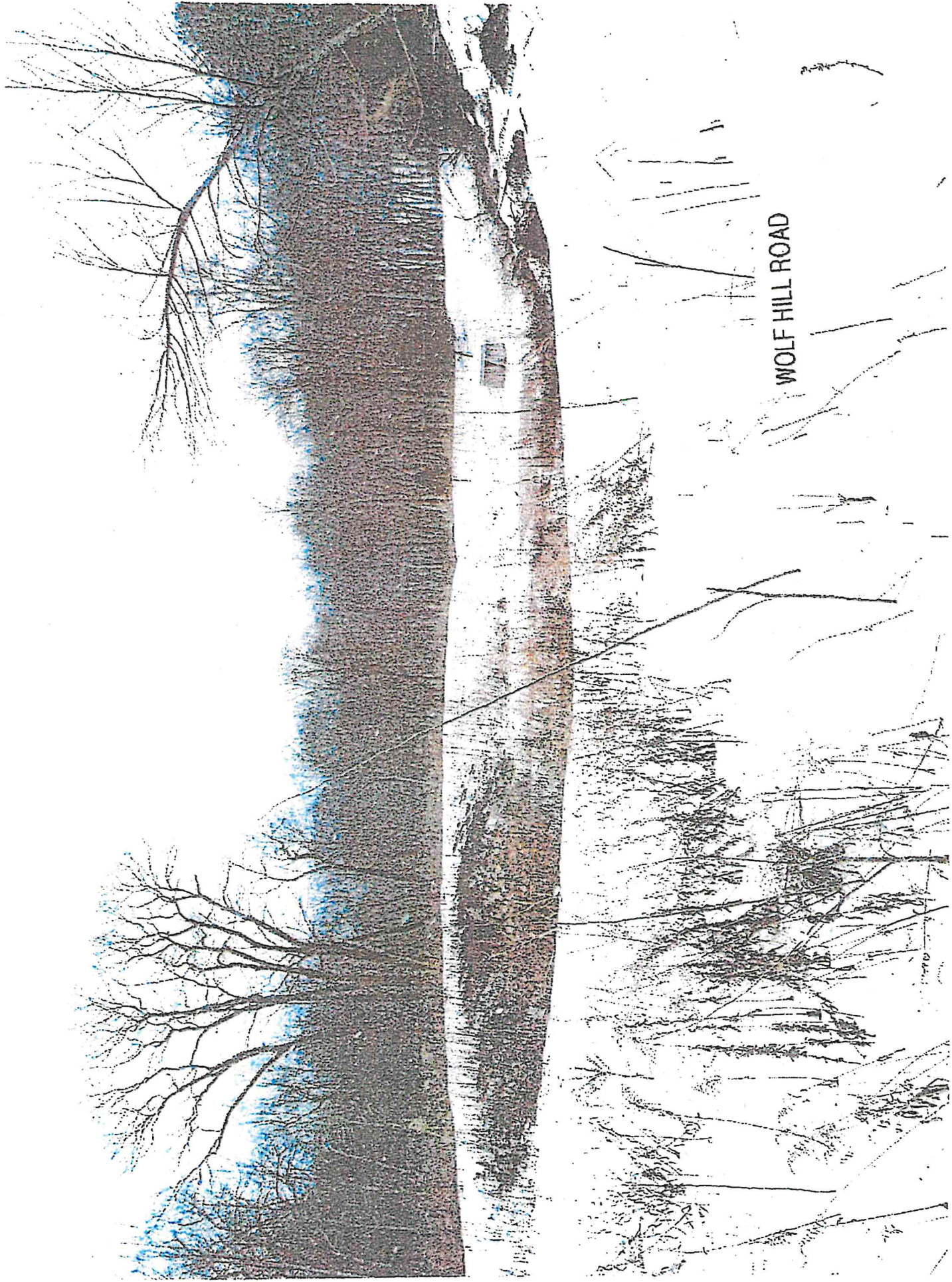
George: spoke with Jerry on the fence. The filed Subdivision Map, Note 4 states "the detention pond fencing shall be black anodized aluminum fencing around the entire pond."

While we feel that the fence is a maintenance concern, and most of our existing ponds, both municipal and private, have no fencing, because it is on the approved Subdivision Map you would have to go back to the CCIW Agency to amend the approval for the fence. The Public Works Department would support your effort to remove the fence from the project. Any questions let me know.

Paul



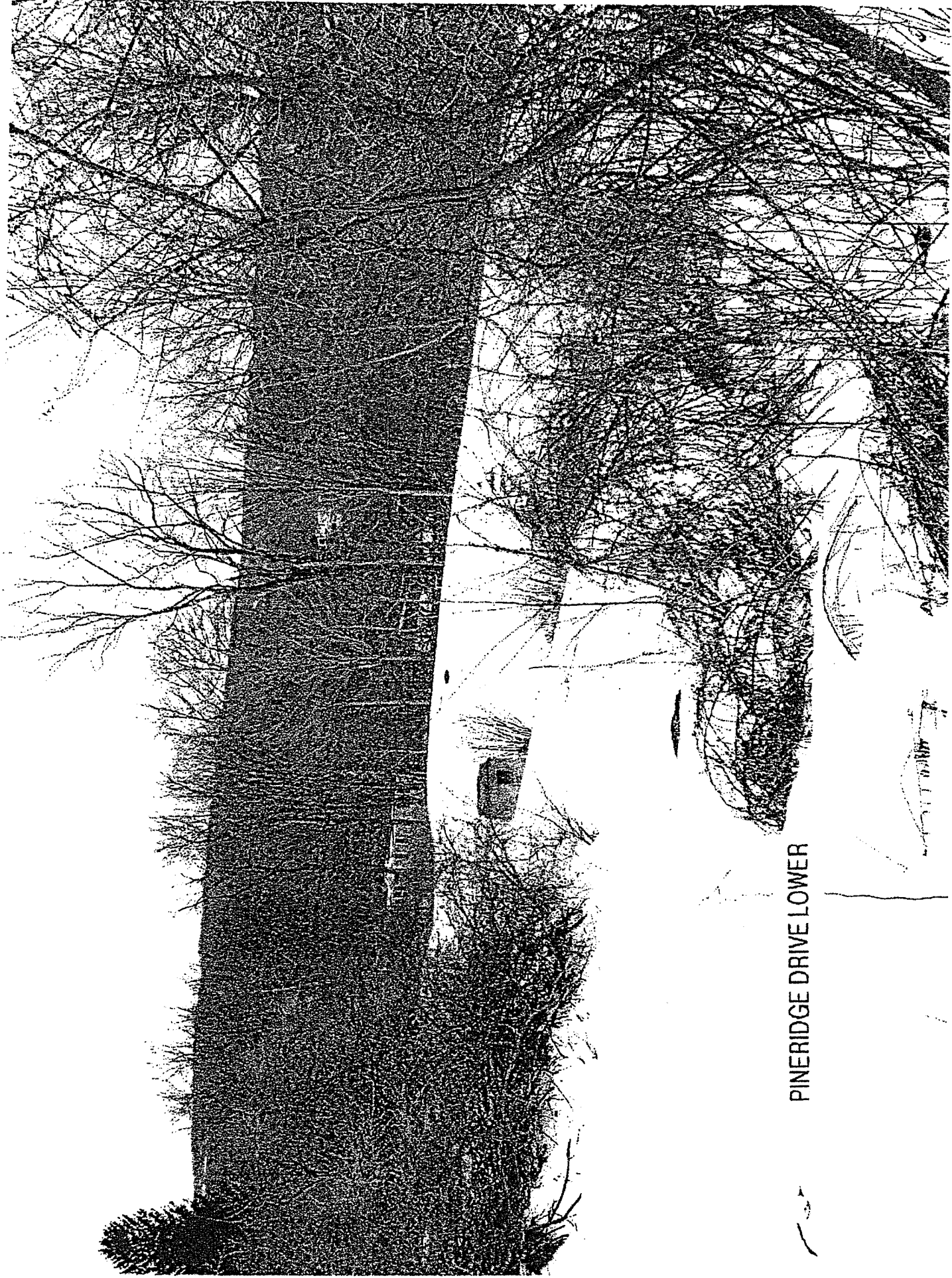
POND VIEW DRIVE



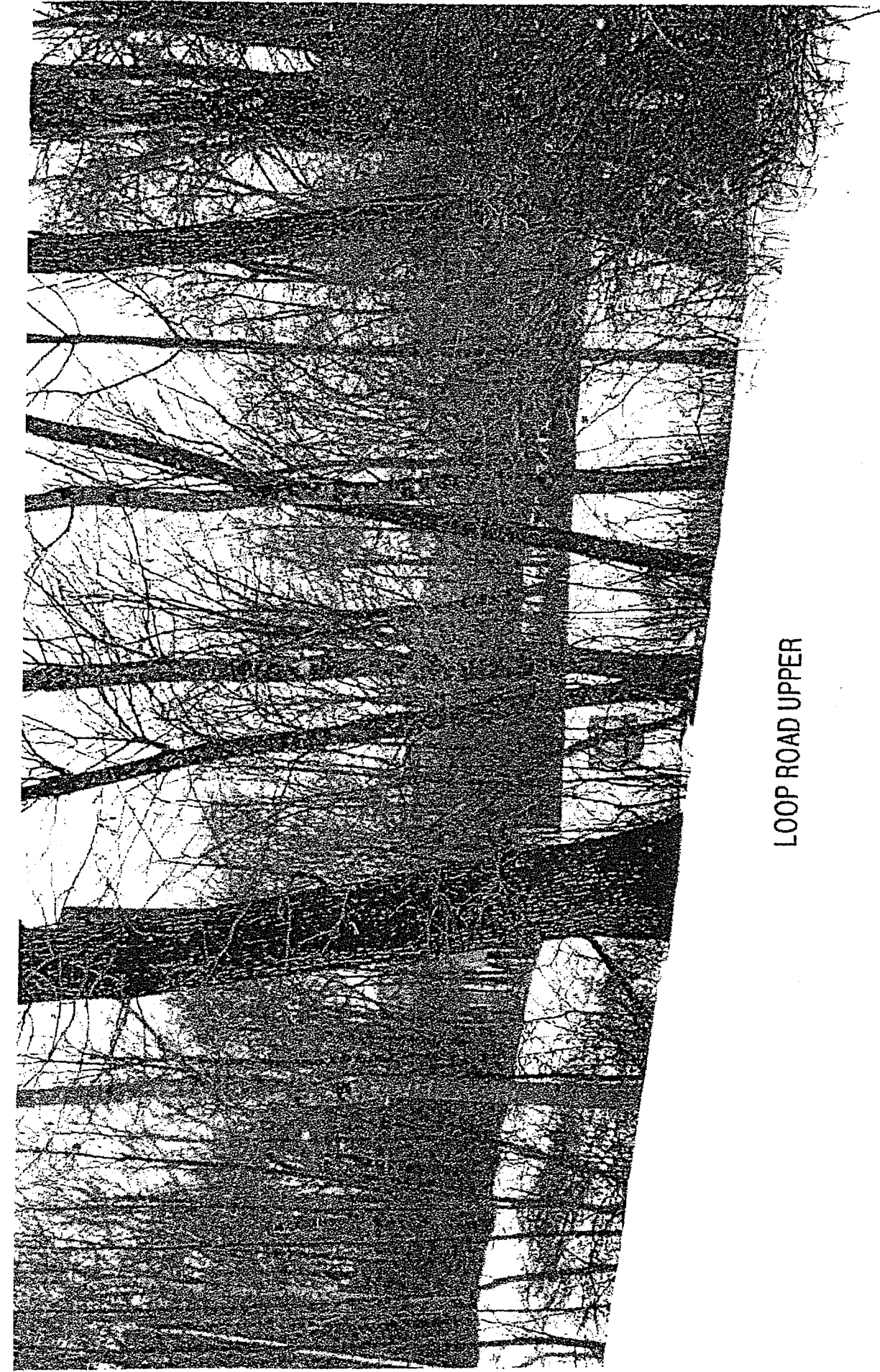
WOLF HILL ROAD



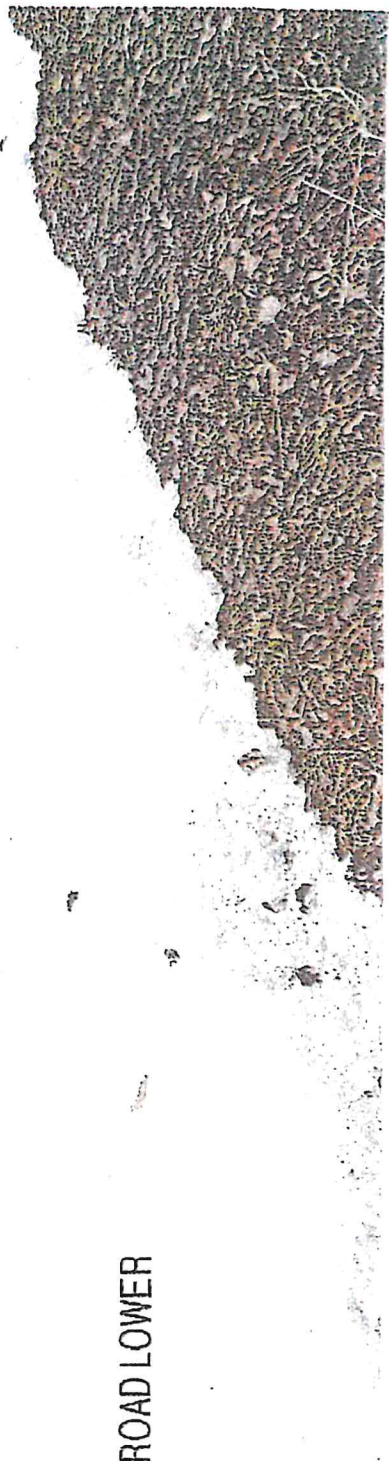
PINERIDGE DRIVE UPPER



PINERIDGE DRIVE LOWER



LOOP ROAD UPPER



LOOP ROAD LOWER



March 24<sup>th</sup>, 2026

Town of Watertown Planning & Zoning Commission  
61 Echo Lake Road  
Watertown, Connecticut 06795

**RE: Site Plan Review Modification  
Approved Tractor Supply Company  
0 Hillside Avenue (M/B/L: 124/180/1A)  
Watertown, Connecticut 06779**

Dear Commissioners:

On behalf of the Applicant, Palm Coast Capital, LLC, Solli Engineering is pleased to submit this application for a Site Plan Review Modification for the previously approved Tractor Supply Company commercial development located at 0 Hillside Avenue (M/B/L: 124/180/1A) in Watertown, Connecticut.

Since approval of the project, the site design has been refined to address grading and earthwork considerations associated with the overall development of the property. Specifically, the finished floor elevation of the proposed building has been increased by approximately 3.75 feet to reduce the overall earthwork required for the project and maintain the financial feasibility of the development. As a result of this adjustment, several related design changes were made, including:

- Increasing the slope of the entrance driveway from approximately 6% to 7%;
- Reducing and eliminating several previously proposed retaining walls;
- Adjusting surrounding site grading to better integrate the development with existing site conditions; and
- Replacing the previously approved surface infiltration basin with a subsurface chamber stormwater management system located along the proposed hillside adjacent to Riverside Street.


The revised stormwater management system continues to provide stormwater treatment, infiltration and attenuation in accordance with the Connecticut Stormwater Quality Manual while improving constructability within the revised grading configuration. The subsurface system will be located beneath a 3:1 vegetated slope, replacing the previously proposed surface basin.

We respectfully submit the following materials for your review:


- Cover Letter (12 copies)
- Permitting Plan Set (12 full-size plan sets and 1 11x17 plan set)

Please review the enclosed materials at your earliest convenience. Should you have any questions or require additional information, do not hesitate to contact us. We look forward to discussing the revised plan with the Commission and respectfully request your consideration for approval to proceed with construction.

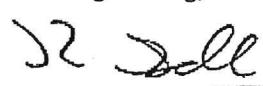
Respectfully,  
Solli Engineering, LLC

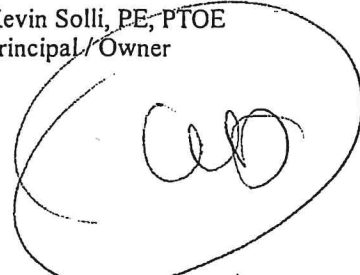
  
Sam T. Malaffonte, PE  
Asst. Project Manager

Solli Engineering, LLC

  
Casey J. Burch  
Sr. Project Manager

Solli Engineering, LLC

  
Kevin Solli, PE, PTOE  
Principal / Owner



Enclosures:

- Refer to bulleted list above

CC:

- Matthew Darling / Palm Coast Capital, LLC

Monroe, CT | West Hartford, CT | Quincy, MA | Charlotte, NC

[www.SolliEngineering.com](http://www.SolliEngineering.com)



Town of Watertown

Connecticut

06795

Town of Watertown  
Public Works Department  
Heminway School Town Hall  
61 Echo Lake Road  
Watertown, CT 06795  
(860) 945-5240  
Fax (860) 945-2707  
www.watertownct.org

To: Spencer Musselman, Administrator for Land Use and Building Services/ZEO

From: Paul Bunevich, Town Engineer

Date: March 19, 2026

Subject: Palm Coast Capital LLC  
Proposed Tractor Supply Company Facility  
0 Hillside Avenue  
Oakville, CT

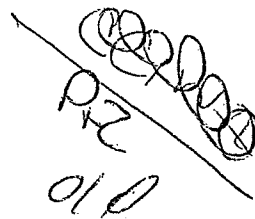
I have reviewed the latest Site Plans (23 sheets total) dated 05/23/25 as revised to 3/10/26, by Solli Engineering for the above referenced project. I have the following comments for your consideration:

- 1) The revised Plans show an underground infiltration system in lieu of the previously approved water quality pond. Some issues with the new system are
  - a) The system installation is located on a severe existing slope, which is proposed to be graded at a 3:1 stabilized slope.
  - b) Of the nearest test borings to the proposed system, SE-8 revealed ledge at 4.2 feet: this is located in the shelf 45 feet north of the proposed infiltrators.
  - c) Two test pits/borings should be performed in the area of the system to check for ledge and mottling/groundwater. System bottom should be two feet above ledge or one foot above any encountered mottling.
  - d) The system grading should provide for a level five foot shelf on the downgradient side of the infiltrators to reduce the possibility of stormwater bleed out leading to eroding of the downslope.
  - e) The Stormwater System Detail on Sheet 2.22 should show the extent of the stone surrounding the units.

If you have any questions please let me know.

Cc: C. Allen  
C. Natusch  
K. Solli/Solli Engineering

March 10, 2026

 PZ  
01/0

Town of Watertown  
Conservation Commission / Inland Wetland Agency  
61 Echo Lake Road  
Watertown, Connecticut 06795

**RE: Permit Modification Request – Application #2025-01  
Proposed Tractor Supply Company  
Proposed 0 Hillside Avenue (M/B/L: 124/180/1A)  
Watertown, Connecticut 06779**

Dear Commissioners:

On behalf of the Applicant, Palm Coast Capital, LLC, Solli Engineering, LLC is pleased to submit this request for a modification to the previously approved CC/IWA permit (Application #2025-01) for the proposed Tractor Supply Company development located at 0 Hillside Avenue in Watertown, Connecticut. The project was originally approved by the Conservation Commission / Inland Wetland Agency on February 13, 2025.

Since approval of the project, the site design has been refined to address grading and earthwork considerations associated with the overall development of the property. Specifically, the finished floor elevation of the proposed building has been increased by approximately 3.75 feet to reduce the overall earthwork required for the project and maintain the financial feasibility of the development. As a result of this adjustment, several related design changes were made, including:

- Increasing the slope of the entrance driveway from approximately 6% to 7%;
- Reducing and eliminating several previously proposed retaining walls;
- Adjusting surrounding site grading to better integrate the development with existing site conditions; and
- Replacing the previously approved surface infiltration basin with a subsurface chamber stormwater management system located along the proposed hillside adjacent to Riverside Street.

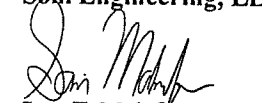
The revised stormwater management system continues to provide stormwater treatment, infiltration and attenuation in accordance with the Connecticut Stormwater Quality Manual while improving constructability within the revised grading configuration. The subsurface system will be located beneath a 3:1 vegetated slope, replacing the previously proposed surface basin.

Importantly, these modifications do not alter the previously approved limits of disturbance or impervious coverage within the 150-foot Upland Review Area of Steele Brook, and no additional impacts to regulated areas are proposed. Please find enclosed the following materials for your review:

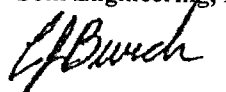
- Cover Letter (10 copies)
- Revised Stormwater Report (3 copies)
- Revised Civil Plan Set (10 copies)

We respectfully request the Commission review the enclosed materials and confirm that the proposed modifications remain consistent with the intent of the previously approved permit. Should you have any questions or require additional information, please do not hesitate to contact our office. We appreciate the Commission's continued assistance with this project and look forward to working with you.

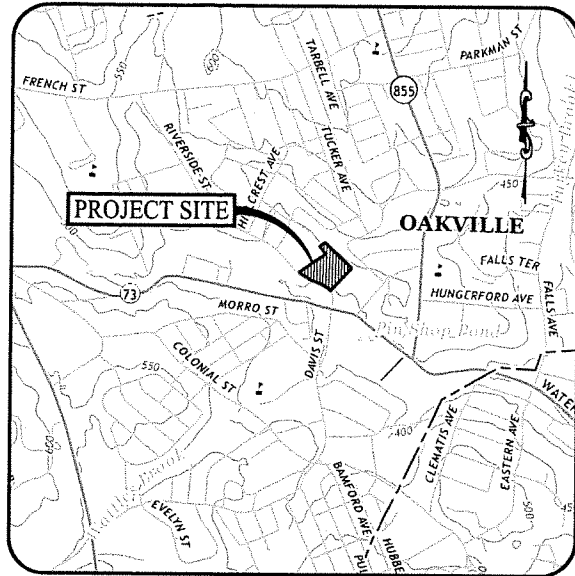
Respectfully,  
Solli Engineering, LLC

  
Sam T. Malaffronte, PE  
Project Manager

Solli Engineering, LLC

  
Casey J. Burch  
Sr. Project Manager

Monroe, CT | West Hartford, CT | Quincy, MA | Charlotte, NC



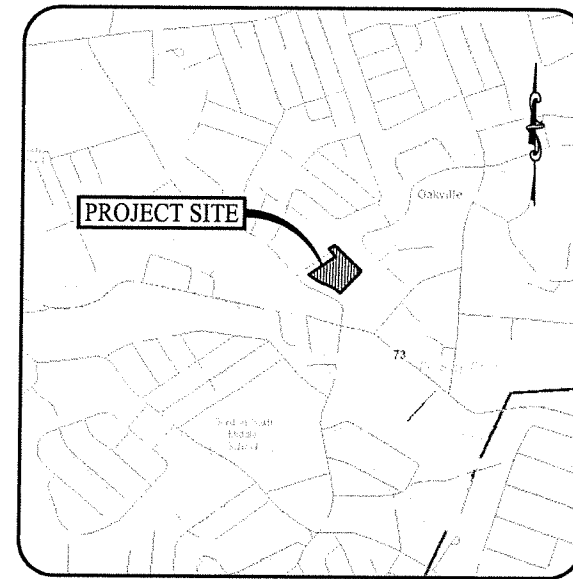
USGS MAP  
SCALE: 1" = 1,000'

# PROPOSED



# TRACTOR SUPPLY CO

0 HILLSIDE AVENUE  
WATERTOWN, CONNECTICUT  
(M/B/L: 124/180/1A)



LOCATION MAP  
SCALE: 1" = 1,000'

## CONSTRUCTION DRAWINGS

PREPARED FOR:

### PALM COAST CAPITAL, LLC

805 GAMEWELL AVENUE  
MAITLAND, FLORIDA 32752

PREPARED BY:



MONROE, CT | WEST HARTFORD, CT | NORWOOD, MA

#### OWNER

THE RENAISSANCE GALLERIA LLC  
81 BANK STREET  
WATERBURY, CONNECTICUT 06702

#### APPLICANT

MATT DARLINO / MANAGER  
PALM COAST CAPITAL, LLC  
805 GAMEWELL AVENUE  
MAITLAND, FLORIDA 32752

#### PROPERTY INFORMATION

ADDRESS: 0 HILLSIDE AVENUE  
TOWN OF WATERTOWN  
CONNECTICUT 06779  
M/B/L: 124 / 180 / 1A  
AREA: 5.2425 ACRES

#### GEOTECHNICAL ENGINEER

JOSEPH W. KIBO, P.E.  
SOLLI ENGINEERING, LLC  
11 VANDERBILT AVENUE, SUITE 240  
NORWOOD, MASSACHUSETTS 02062  
(781) 352-8491

#### WATERTOWN WATER & SEWER AUTHORITY

DAVID MCMAHON  
SUPERINTENDENT OF WATER & SEWER AUTHORITY  
147 FRENCH STREET  
OAKVILLE, CONNECTICUT 06779-1099  
(860) 945-5299  
MCMAHON@WATERTOWNCT.ORG

#### ELECTRIC PROVIDER

EVERSOURCE  
1-800-256-2000

#### GAS PROVIDER

EVERSOURCE  
1-800-256-2000

#### SITE / CIVIL ENGINEER

KEYVIN SOLLI, P.E., PTOE, CFESC, LEED AP BD+C  
(ENGINEER OF RECORD)  
LICENSE NO. 23759  
SOLLI ENGINEERING, LLC  
11 VANDERBILT AVENUE, SUITE 240  
NORWOOD, MASSACHUSETTS 02062  
(781) 352-8491

#### LANDSCAPE DESIGNER

MARY BLACKBURN, P.L.A., C.A.P.  
SOLLI ENGINEERING, LLC  
11 VANDERBILT AVENUE, SUITE 240  
NORWOOD, MASSACHUSETTS 02062  
(781) 352-8491

#### SURVEYOR OF RECORD

BRYAN F. NESTERAK, P.E., L.S.  
LICENSE NO. 23358  
ACCURATE LAND SURVEYING, LLC  
15 RESEARCH DRIVE  
WOODBRIDGE, CONNECTICUT 06525  
(203) 861-8145

#### ARCHITECT

GLEN F. OSFORD, AIA  
OSFORD ARCHITECTURE  
294 BIRCH DRIVE, SUITE 120  
NASHVILLE, TENNESSEE 37204  
(615) 256-3435

#### DRAWING LIST

SHEET #	SHEET NAME	PLAN DATE	LATEST REVISION
0.00	COVER SHEET	05/23/25	03/10/26
1 OF 1	ALTA NSPS LAND TITLE SURVEY	01/08/25	11/14/25
0.10	NOTES, LEGENDS, & ABBREVIATIONS	05/23/25	03/10/26
0.11	APPROVALS	05/23/25	03/10/26
0.12	BORING LOGS	05/23/25	03/10/26
2.10	OVERALL SITE AREA MAP	05/23/25	03/10/26
2.11	SITE LAYOUT PLAN	05/23/25	03/10/26
2.12	SITE LAYOUT PLAN ENLARGEMENTS	05/23/25	03/10/26
2.21	GRADING & DRAINAGE PLAN	05/23/25	03/10/26
2.22	STORMWATER MANAGEMENT DETAILS	05/23/25	03/10/26
2.31	PHASE I SOIL EROSION & SEDIMENT CONTROL PLAN	05/23/25	03/10/26
2.32	PHASE II SOIL EROSION & SEDIMENT CONTROL PLAN	05/23/25	03/10/26
2.41	SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS	05/23/25	03/10/26
2.51	SITE UTILITY PLAN	05/23/25	03/10/26
2.52	UTILITY PROFILE & ENLARGEMENT	05/23/25	03/10/26
2.53	EV CHARGING PLAN	05/23/25	03/10/26
2.61	LANDSCAPE PLAN	05/23/25	03/10/26
2.62	LANDSCAPE DETAILS & NOTES	05/23/25	03/10/26
2.71	LIGHTING PLAN	05/23/25	03/10/26
3.01	CONSTRUCTION DETAILS	05/23/25	03/10/26
3.02	CONSTRUCTION DETAILS	05/23/25	03/10/26
3.03	CONSTRUCTION DETAILS	05/23/25	03/10/26
3.04	CONSTRUCTION DETAILS	05/23/25	03/10/26

Rev. #	Date	Description
3	03/10/26	CONSTRUCTION REV. #1
2	07/11/25	RETAINING WALL RFI
1	06/04/25	Plan Revisions - Staff Review

Project: **PROPOSED TRACTOR SUPPLY**  
0 HILLSIDE AVENUE  
WATERTOWN, CONNECTICUT  
M/B/L: 124/180/1A

Sheet Title:	Sheet #:
COVER SHEET	0.00



**GENERAL NOTES**

- NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS, AND CONDITIONS OF APPROVALS ISSUED BY THE TOWN OF WATERTOWN FOR THIS PROJECT.
- EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY TITLED "ALTA / SPS LAND TITLE SURVEY", DATED: JANUARY 8, 2025, SCALE: 1" = 40', BY ACCURATE LAND SURVEYING, LLC.
- THE SUBJECT SITE IS A SINGLE PROPOSED PARCEL WITH A TOTAL AREA OF 5.2421 ACRES. THE SITE IS LOCATED WITHIN THE 0370D / 5070D IN THE TOWN OF WATERTOWN (OAKVILLE VILLAGE), CONNECTICUT. THE PROPOSED USE IS ALLOWED BY SITE PLAN REVIEW APPROVAL.
- UNLESS SPECIFIED HEREIN, ALL CONSTRUCTION MATERIALS, SPECIFICATIONS, AND TECHNIQUES SHALL BE IN CONFORMANCE WITH CT DOT FORM #19 (2024).

**SITE PLAN NOTES**

- PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE THE COMMENCEMENT OF WORK AT "811" OR 1-800-485-4845 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY PROVIDER AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES.
- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING, OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER OF RECORD IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY AND SECURITY OF THE SITE DURING ALL PHASES OF CONSTRUCTION. THE ARCHITECT AND ENGINEER OF RECORD ARE NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER OF RECORD HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS. THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE, AND PROVIDE TRAFFIC CONTROLS NECESSARY FOR THIS PROJECT.
- CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING AND SIDEWALKS ADJACENT TO THE BUILDING.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED.
- TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE CONNECTICUT DEPARTMENT OF TRANSPORTATION (CTDOT) TRAFFIC DESIGN MANUAL. SIGNS SHALL BE INSTALLED FLUSH WITH THE EDGE OF THE SIGN 2" OFF THE FACE OF THE CURB UNLESS OTHERWISE DETAILED OR NOTED.
- THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
- PAVEMENT MARKING KEY:  
 4" SWL 4" SINGLE SOLID WHITE LINE  
 12" SWL 12" SINGLE SOLID WHITE STOP BAR  
 4" DWL 4" DOUBLE SOLID YELLOW LINE  
 4" DWL 4" DOUBLE SOLID YELLOW LINE
- PARKING SPACES SHALL BE STRIPED WITH 4" SWL. HATCHED AREA SHALL BE STRIPED WITH 4" SWL AT A 45 ANGLE. 7" ON CENTER HATCHING, SYMBOLS, AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED BLUE AND WHITE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
- THE CONTRACTOR SHALL REMOVE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, OR STORAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE ENGINEER OF RECORD. DURING CONSTRUCTION CONTRACTOR IS TO HAVE THE SITE MAINTAINED FREE OF ALL TRASH, LITTER, DEBRIS, AND OVERGROWN VEGETATION.
- THE OWNER SHALL BE RESPONSIBLE TO HAVE THE SITE MAINTAINED FREE OF ALL TRASH, LITTER, DEBRIS, AND OVERGROWN VEGETATION.
- PAVEMENT MARKINGS SHALL BE NOT APPLIED TYPE IN ACCORDANCE WITH CTDOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.

**GRADING & DRAINAGE NOTES**

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE, AND PROVIDE TRAFFIC CONTROLS NECESSARY FOR THIS PROJECT.
- UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "811" OR 1-800-485-4845 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING, OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER OF RECORD IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF BARRIERS, SIGNS, LIGHTS, FENCES, AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OF RECORD OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
- ALL UTILITY WORK PROPOSED WITHIN THE TOWN OF WATERTOWN, RIGHT-OF-WAY SHALL COMPLY WITH TOWN OF WATERTOWN DPW, CTDOT, UTILITY PROVIDER, AND ENGINEERING STANDARDS AND SPECIFICATIONS. PROPOSED UTILITY WORK WILL REQUIRE LANE CLOSURES. THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE CITY DEPARTMENT PRIOR TO CONSTRUCTION.
- ALL DISTURBANCE TO TOWN, COUNTY, OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER.
- IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
- ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.
- GRADING CONTRACTOR SHALL RESTORE TO GRADE AND COMPACTION ALL AREAS DISTURBED BY BUILDING CONSTRUCTION PRIOR TO FINISH OPERATIONS COMMENCING.
- THE PROPOSED STORMWATER MANAGEMENT SYSTEMS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE CONNECTICUT STORMWATER QUALITY MANUAL (SQM) TO THE BEST EXTENT PRACTICABLE.
- ALL CATCH BASINS ARE TO BE INSTALLED WITH MINIMUM OF 4-FOOT SLIPS WITH HOODED OUTLETS.
- ALL WORK ASSOCIATED WITH THE INSTALLATION OF THE WATER SERVICE SHALL BE IN COMPLIANCE WITH WATERTOWN WATER & SEWER AUTHORITY STANDARDS AND SPECIFICATIONS.
- ALL WORK ASSOCIATED WITH THE INSTALLATION OF THE SEWER SERVICE SHALL BE IN COMPLIANCE WITH THE TOWN OF WATERTOWN WATER & SEWER AUTHORITY STANDARDS AND SPECIFICATIONS.
- ALL WORK ASSOCIATED WITH THE INSTALLATION OF THE ELECTRIC SERVICE SHALL BE IN COMPLIANCE WITH UTILITY PROVIDER STANDARDS AND SPECIFICATIONS.
- ALL WORK ASSOCIATED WITH THE INSTALLATION OF THE GAS SERVICE SHALL BE IN COMPLIANCE WITH UTILITY PROVIDER STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES 72 HOURS PRIOR TO BEGINNING OF EXCAVATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TAP AND TIE-IN FEES REQUIRED BY UTILITY PROVIDERS.

**GENERAL TRAFFIC NOTES**

- DURING THE PROGRESS OF WORK, ALL ROADS SHALL REMAIN OPEN FOR THE PASSAGE OF TRAFFIC AND PEDESTRIANS, AND SHALL NOT BE UNNECESSARILY OBSTRUCTED UNLESS AUTHORIZED BY THE AUTHORITY HAVING JURISDICTION OVER SAME. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF TRANSPORTATION (DOT) TOWN PUBLIC WORKS DEPARTMENT, LOCAL POLICE, AND STATE POLICE AS REQUIRED.
- WARNING SIGNS SHALL BE PROVIDED ALONG ALL ROADS WHERE WORK IS IN PROGRESS. THE CONTRACTOR SHALL NOTIFY AND MAKE ALL ARRANGEMENTS WITH THE D.O.T., TOWN PUBLIC WORKS DEPARTMENT, LOCAL POLICE, AND STATE POLICE FOR DIRECTION OF TRAFFIC PAST THE EQUIPMENT, MACHINERY, OR CONSTRUCTION OPERATIONS. BARRIERS AND LIGHTS SHALL BE PROVIDED TO PROTECT TRAFFIC. WHILE FENCES HAVE BEEN CUT IN ROAD SHOULDERS, WARNING SIGNS SHALL BE PLACED AT FREQUENT INTERVALS AND MAINTAINED UNTIL THE SHOULDER IS SAFE TO TRAVEL. ALL SUCH WORK AND OPERATIONS SHALL BE IN ACCORDANCE WITH THE REQUIREMENT OF THE D.O.T., PUBLIC WORKS DEPARTMENT, LOCAL POLICE AND STATE POLICE.

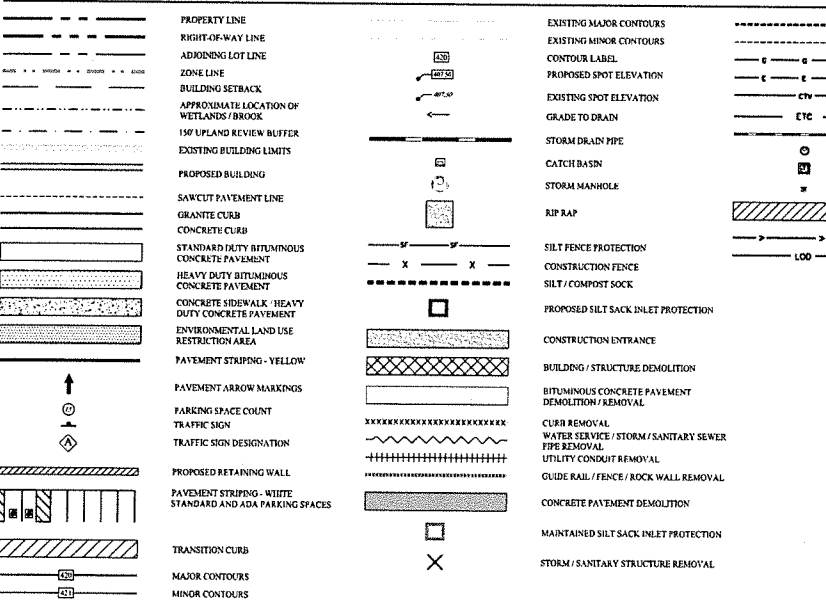
**819 CONSTRUCTION NOTES**

- ALL WORK WITHIN THE STATE RIGHT-OF-WAY WILL COMPLY WITH FORM #19, "THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS BRIDGES AND INCIDENTAL CONSTRUCTION" WITH THE LATEST SPECIAL PROVISIONS AND TYPICAL STATE STANDARD DETAILS. IN ANY CASE WHERE THE CONSTRUCTION IS NOT SPECIFICALLY DETAILED IN THE FORM #19, THE WORK WILL BE COMPLETED AS DIRECTED BY THE ENGINEER OR DISTRICT PERMIT SECTION REPRESENTATIVE.
- REMOVAL OF PAVEMENT MARKINGS ALONG STATE ROADWAYS SHALL BE COMPLETED BY A NON-DESTRUCTIVE METHOD IN COMPLIANCE WITH THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD, BRIDGES, AND INCIDENTAL CONSTRUCTION FORM #19 SECTION 12.16 AS REVISED. ALL SIGNS AND PAVEMENT MARKINGS INSTALLED WITHIN THE STATE RIGHT OF WAY MUST CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE LATEST STATE OF CONNECTICUT CATALOG OF SIGNS AS REVISED.
- NEW PAVEMENT MARKINGS SHALL BE PAINTED WITH EPOXY RESIN PAINT IN COMPLIANCE WITH THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD, BRIDGES, AND INCIDENTAL CONSTRUCTION FORM #19 SECTION 12.18 AS REVISED.
- NEW SIGN MATERIAL AND SHEETING SHALL BE MADE OF REFLECTIVE MATERIAL IN COMPLIANCE WITH STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD, BRIDGES, AND INCIDENTAL CONSTRUCTION FORM #19 SECTION 12.06 AS REVISED. ALL SIGNS AND PAVEMENT MARKINGS INSTALLED WITHIN THE STATE RIGHT OF WAY MUST CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE LATEST STATE OF CONNECTICUT CATALOG OF SIGNS AS REVISED.
- ANY DAMAGE TO THE EXISTING CURB, SIDEWALK OR ANY OTHER HIGHWAY APPURTENANCES DURING THE DEVELOPMENT OF THE PERMITTED SITE WILL BE REPLACED BY THE CONTRACTOR AS DIRECTED BY THE DISTRICT 3 PERMIT SECTION AT NO COST TO THE STATE.

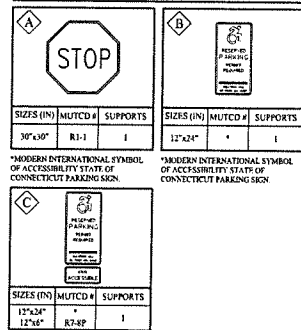
**ABBREVIATIONS**

AC	ASBESTOS CEMENT
BC	BOTTOM OF CURB
CB	CATCH BASIN
CF	CUBIC FEET
CT	CONNECTICUT
D <sub>6</sub>	ROCK SIZE DIAMETER (50% OR SMALLER)
D <sub>6</sub> BOX	DISTRIBUTION BOX
DI	DUCTILE IRON
DMH	DRAINAGE MANHOLE
DMH	DOMESTIC
DOT	DEPARTMENT OF TRANSPORTATION
DPW	DEPARTMENT OF PUBLIC WORKS
EA	EAST
ELV	ELEVATION
EX	EXISTING
FL	FLARED END SECTION
FES	FINISHED FLOOR ELEVATION
FF	FEET
FT	GALLON
GAL	GROSS FLOOR AREA
GFA	GALLONS PER DAY
GPD	GREASE TRAP
GT	GRADE TO DRAIN
GTD	HEIGHT
H	HIGH DENSITY POLYETHYLENE
HDPE	INCHES
IN	INVERT
INV	LIMIT OF DISTURBANCE
LOD	LINEAR FEET
LF	LINEAR FEET
MAN	MANHOLE
MIN	MINIMUM
MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
N	NORTH
NE	NORTHEAST
NEI	NORTHWEST
NVD	NORTH AMERICAN VERTICAL DATUM
NW	NOT APPLICABLE
NA	NOT APPLICABLE
OC	ON-CENTER
PERM	PERMANENT
PER	PERFORATED
PR	PROPOSED
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
S	SLOPE
(S)	SOUTH
(SE)	SOUTHEAST
(SW)	SOUTHWEST
SCH	SCHEDULE
SDR	STANDARD DIMENSION RATIO
SF	SQUARE FOOT
SMH	SEWER MANHOLE
SSWB	SANITARY SEWER
STRM	STORM
TC	TOP OF CURB
TF	TOP OF FRAME
TOT	TOTAL
TR	TYPICAL
UG	UNDERGROUND SYSTEM
VE	VERTICAL FIELD
W	WIDTH
W	WITH
(W)	WEST

**LEGEND**



**SIGN LEGEND**



ZONING REQUIREMENT (SO/VD)	REQUIREMENT	EXISTING CONDITIONS	PROPOSED CONDITIONS (M.B.L. 124/180/1A)	25 HILLSIDE AVENUE (M.B.L. 124/180/1)
MINIMUM DEVELOPMENT SIZE	4 ACRES	9,366 AC	248,814 SF (5,242 AC)	183,193 SF (4,124 AC)
MINIMUM FRONT YARD BUILDING SETBACK	35 FT	N/A	836 FT / 1111 FT	N/A
MINIMUM SIDE YARD BUILDING SETBACK	35 FT	N/A	171 FT	N/A
MINIMUM REAR YARD BUILDING SETBACK	35 FT	N/A	216 FT	N/A
MAXIMUM BUILDING HEIGHT	4 STORIES / 30 FT	N/A	< 40 FT	N/A
MAXIMUM OUTDOOR DISPLAY OF MERCHANDISE	35,000 SF	N/A	24,475 SF	N/A
MAXIMUM COMMERCIAL DENSITY	12,000 SF / ACRE	N/A	4,184 SF / ACRE	N/A

PROPOSED DEVELOPMENT	GFA	REQUIREMENT	REQUIRED	PROVIDED
PROPOSED TRACTOR SUPPLY COMPANY	21,924 SF	1 SPACE / 250 SF	88	88
		TOTAL	88	88

03/10/26 CONSTRUCTION REV. #1

Rev. # Date Description

**SOLLI ENGINEERING**  
 MANROE, CT | W. HARTFORD, CT | NORWOOD, MA  
 SOLLIENGINEERING.COM  
 T: (860) 866-5455 | F: (860) 866-9485

Drawn By: OSK  
 Checked By: CJB  
 Approved By: KMS  
 Project #: 24202601  
 Plan Date: 05/23/25  
 Scale: NTS

Project:  
**PROPOSED TRACTOR SUPPLY**  
 0 HILLSIDE AVENUE  
 WATERTOWN, CONNECTICUT  
 M/B/L: 124/180/1A

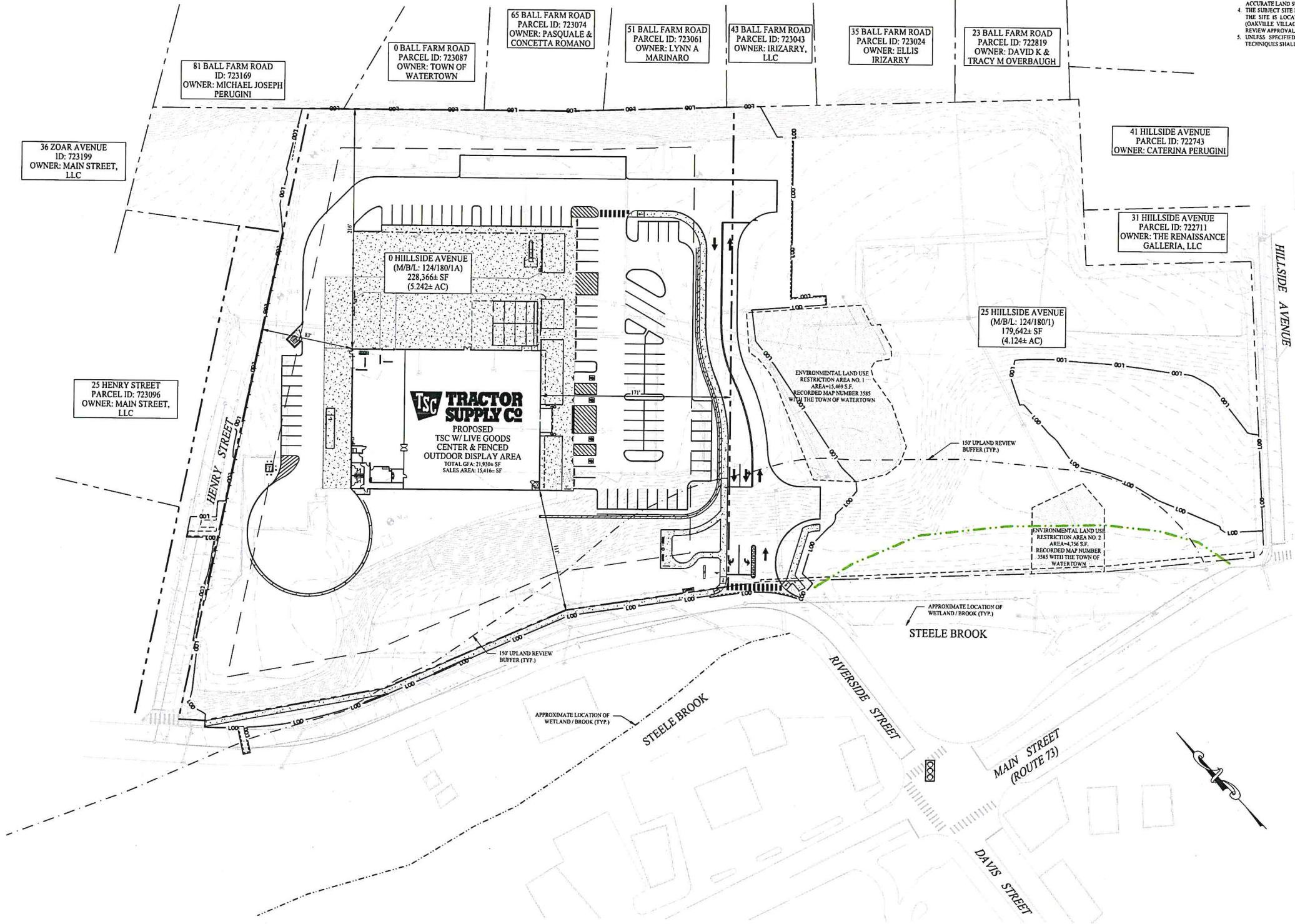
Sheet Title: **NOTES, LEGENDS, & ABBREVIATIONS** Sheet #: **0.10**





**GENERAL NOTES**

1. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
2. ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS, AND CONDITIONS OF APPROVALS ISSUED BY THE TOWN OF WATERTOWN FOR THIS PROJECT.
3. EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY TITLED "ALTA / NSPS LAND TITLE SURVEY", DATED: JANUARY 8, 2001, 2004, SCALE: 1" = 40', BY ACCURATE LAND SURVEYING, LLC.
4. THE SUBJECT SITE IS A SINGLE PROPOSED PARCEL WITH A TOTAL AREA OF 5.242 ACRES. THE SITE IS LOCATED WITHIN THE OVPD / SOVPD IN THE TOWN OF WATERTOWN (OAKVILLE VILLAGE), CONNECTICUT. THE PROPOSED USE IS ALLOWED BY SITE PLAN REVIEW APPROVAL.
5. UNLESS SPECIFIED HEREIN, ALL CONSTRUCTION MATERIALS, SPECIFICATIONS, AND TECHNIQUES SHALL BE IN CONFORMANCE WITH CT DOT FORM 819 (2024).



2	03/10/26	CONSTRUCTION REV. #1
1	06/04/25	Plan Revisions - Staff Review
Rev. #:	Date	Description

Graphic Scale:  
0 40 80

**SOLLI ENGINEERING**  
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Drawn By: OSK  
Checked By: CJB  
Approved By: KMS  
Project #: 24202601  
Plan Date: 05/23/25  
Scale: 1" = 40'

**PROPOSED TRACTOR SUPPLY**  
0 HILLSIDE AVENUE  
WATERTOWN, CONNECTICUT  
M/B/L: 124/180/1A

Sheet Title: OVERALL SITE LAYOUT MAP  
Sheet #: 2.10

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**GENERAL NOTES**

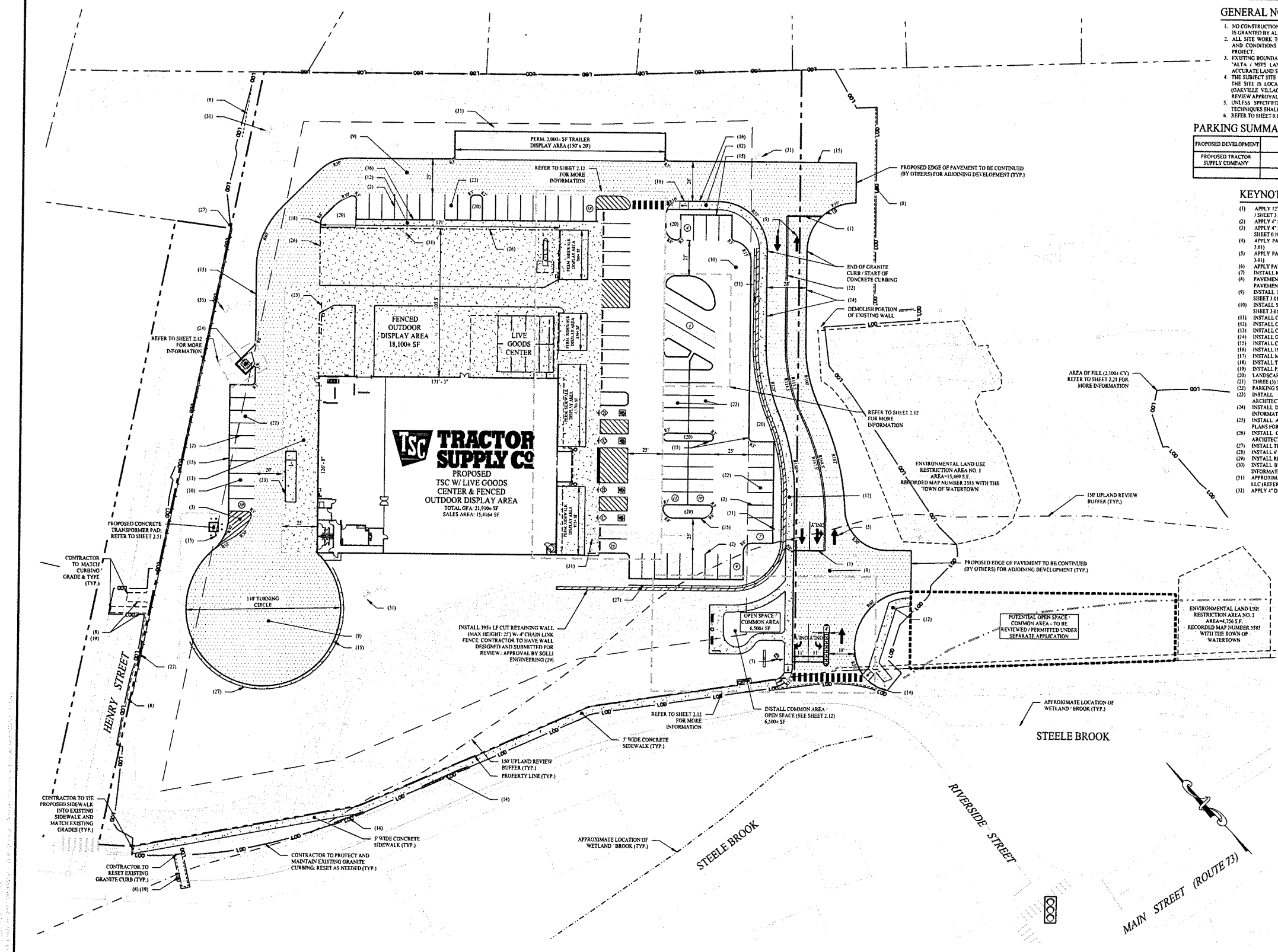
- NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS, AND CONDITIONS OF APPROVALS ISSUED BY THE TOWN OF WATERTOWN FOR THIS PROJECT.
- EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY TITLED "A & A '95' LAND TITLE SURVEY", DATED JANUARY 8, 2023, SCALE: 1" = 40', BY ACCURATE LAND SURVEYING, LLC.
- THE SUBJECT SITE IS A SINGLE PROPOSED PARCEL WITH A TOTAL AREA OF 5.2423 ACRES. THE SITE IS LOCATED WITHIN THE OVID / SOVERED BY THE TOWN OF WATERTOWN (OAKVILLE VILLAGE), CONNECTICUT. THE PROPOSED USE IS ALLOWED BY SITE PLAN REVIEW APPROVAL.
- UNLESS SPECIFIED OTHERWISE, ALL CONSTRUCTION MATERIALS, SPECIFICATIONS, AND TECHNIQUES SHALL BE IN CONFORMANCE WITH CT DOT FORM 819 (2024).
- REFER TO SHEET 0.10 FOR NOTES, LEGENDS, AND ABBREVIATIONS.

**PARKING SUMMARY**

PROPOSED DEVELOPMENT	GFA	REQUIREMENT	REQUIRED	PROVIDED
PROPOSED TRACTOR SUPPLY COMPANY	21,906 SF	1 SPACE / 250 SF	88	88
		TOTAL	88	88

**KEYNOTES**

- APPLY 12" SSWB (TYPICAL / SEE SITE PLAN NOTE #9 / SHEET 0.10, SEE DETAIL 16 / SHEET 3.01)
- APPLY 4" SSWL (TYPICAL / SEE SITE PLAN NOTE #9 / SHEET 0.10)
- APPLY 4" SSWL @ 45° ANGLE, 2" ON CENTER (TYPICAL / SEE SITE PLAN NOTE #10 / SHEET 0.10)
- APPLY PAINTED DIRECTIONAL ARROW ON PAVEMENT (SEE DETAIL 12 / SHEET 3.01)
- APPLY PAINTED DIRECTIONAL ARROW ON PAVEMENT (SEE DETAIL 11 / SHEET 3.01)
- APPLY PAVEMENT CROSSWALK MARKING (SEE DETAIL 7 / SHEET 3.02)
- INSTALL METAL TRAFFIC SIGN (SEE DETAIL 18 & 20 / SHEET 3.01)
- PAVEMENT SAWCUT, MATCH PROPOSED PAVEMENT GRADE TO EXISTING PAVEMENT GRADE (SEE DETAIL 8 / SHEET 3.01)
- INSTALL HEAVY DUTY BITUMINOUS CONCRETE PAVEMENT (SEE DETAIL 7 / SHEET 3.01)
- INSTALL STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT (SEE DETAIL 6 / SHEET 3.01)
- INSTALL CONCRETE PAD (SEE DETAIL 3, SHEET 3.01)
- INSTALL CONCRETE SIDEWALK (SEE DETAIL 19 / SHEET 3.01)
- INSTALL CONCRETE BOLLARD (SEE DETAIL 4 / SHEET 3.01)
- INSTALL GRANITE CURB (SEE DETAIL 14 / SHEET 3.01)
- INSTALL CONCRETE CURB (SEE DETAIL 11 / SHEET 3.01)
- INSTALL INTEGRAL CONCRETE CURB (SEE DETAIL 2 / SHEET 3.02)
- INSTALL MOUNTABLE ISLAND (SEE DETAIL 15 / SHEET 3.01)
- INSTALL TRANSITION CURB (SEE DETAIL 14 / SHEET 3.01)
- INSTALL PAVEMENT REPAIR OVER UTILITY TRENCH (SEE DETAIL 3 / SHEET 3.02)
- LANDSCAPE ISLAND AREA (SEE SHEET 2.61)
- TREE (1) 10" X 4" TRAILER PARKING SPACES @ 90° ANGLE (TYPICAL)
- PARKING SPACE 10' X 20' (TYPICAL)
- INSTALL MOVABLE STEEL LOADING DOCK (TYPICAL) (REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION)
- INSTALL DUMPSTER (TYPICAL) (REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION)
- INSTALL AUTOMATED SLIDING GATE (TYPICAL) (REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION)
- INSTALL CHAIN LINK ALUMINUM TUBE FENCE, HEIGHT VARIES REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION (TYPICAL)
- INSTALL TIMBER GUARD RAIL (SEE DETAIL 10 / SHEET 3.01)
- INSTALL 4" HIGH CHAIN LINK FENCE (SEE DETAIL 5 / SHEET 3.01)
- INSTALL RETAINING WALL (SEE DETAIL 1 / SHEET 3.02)
- INSTALL BUILDING OVERHANG (REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION)
- APPROXIMATE LOCATION OF SOIL BORING PERFORMED BY SOLLI ENGINEERING, LLC (REFER TO SHEET 0.12 FOR MORE INFORMATION)
- APPLY 4" SSWL (TYPICAL / SEE SITE PLAN NOTE #9 / SHEET 0.10)



2	03/10/26	CONSTRUCTION REV. #1
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Graphic Scale: 0 30 60

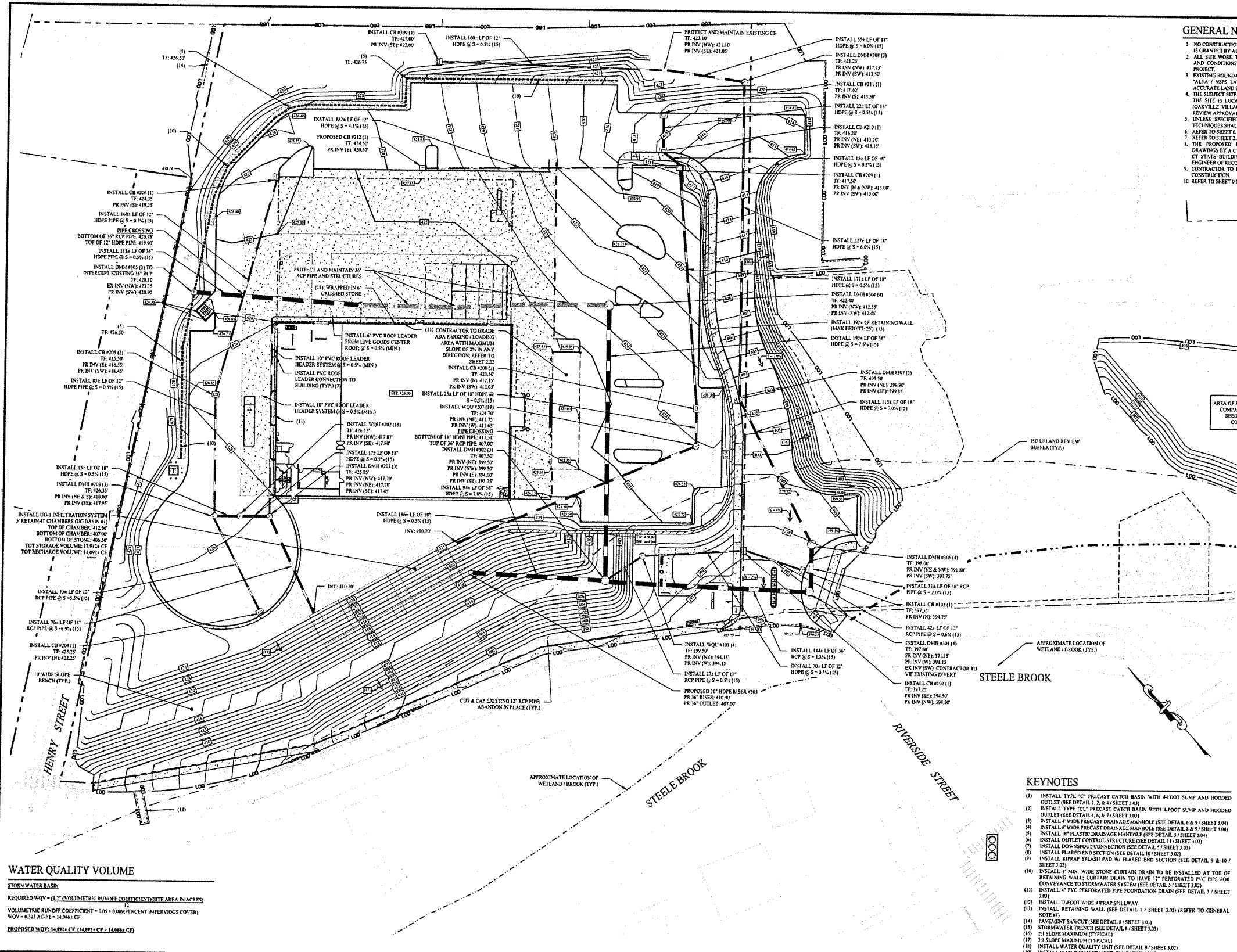
**SOLLI ENGINEERING**  
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Drawn By: OSK  
 Checked By: CIB  
 Approved By: KMS  
 Project #: 24202601  
 Plan Date: 05/23/25  
 Scale: 1" = 30'

Project:  
**PROPOSED TRACTOR SUPPLY**  
 0 HILLSIDE AVENUE  
 WATERTOWN, CONNECTICUT  
 M/B/L: 124/180/1A

Sheet Title: **SITE LAYOUT PLAN** Sheet #: **2.11**





**WATER QUALITY VOLUME**

**STORMWATER BASIN**

REQUIRED WQV =  $(1.1 \times \text{VOLUMETRIC RUNOFF COEFFICIENT}) \times \text{SITE AREA IN ACRES}$

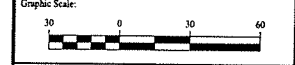
VOLUMETRIC RUNOFF COEFFICIENT = 0.05 + 0.0006(PERCENT IMPERVIOUS COVER)

WQV = 0.322 AC-FT = 14,086 CF

PROPOSED WQV: 14,086 CF (14,086 CF) = 14,086 CF

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  - ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS, AND CONDITIONS OF APPROVALS ISSUED BY THE TOWN OF WATERTOWN FOR THIS PROJECT.
  - EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY TITLED "MATA - NILES LAND TITLE SURVEY", DATED JANUARY 8, 2023, SCALE: 1" = 40', BY ACCURATE LAND SURVEYING, LLC.
  - THE SUBJECT SITE IS A SINGLE PROPOSED PARCEL WITH A TOTAL AREA OF 3.242 ACRES. THE SITE IS LOCATED WITHIN THE OVID 1 SOVPOD IN THE TOWN OF WATERTOWN (OAKVILLE VILLAGE), CONNECTICUT. THE PROPOSED USE IS ALLOWED BY SITE PLAN REVIEW APPROVAL.
  - UNLESS SPECIFIED HEREIN, ALL CONSTRUCTION MATERIALS, SPECIFICATIONS, AND TECHNIQUES SHALL BE IN CONFORMANCE WITH CT DOT FORM #19 (2024).
  - REFER TO SHEET 0.1 FOR NOTES, LEGENDS, AND ABBREVIATIONS.
  - REFER TO SHEET 2.1 FOR DEMOLITION OF EXISTING DRAINAGE STRUCTURES AND PIPING.
  - THE PROPOSED RETAINING WALLS REQUIRE DESIGN AND STAMPED WORKING DRAWINGS BY A CT PROFESSIONAL ENGINEER AND SHALL BE IN ACCORDANCE WITH THE CT STATE BUILDING CODE. ALL DESIGN AND PLANS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW PRIOR TO THE CONSTRUCTION OF RETAINING WALLS.
  - CONTRACTOR TO PROTECT SUBSOILS BELOW THE ELEVATION OF 393.56 THROUGHOUT CONSTRUCTION.
  - REFER TO SHEET 0.12 FOR BORING LOG INFORMATION.

Rev. #	Date	Description
2	03/10/26	CONSTRUCTION REV. #1
1	07/11/25	RETAINING WALL RFI



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Drawn By: OSK

Checked By: STM

Approved By: KMS

Project #: 24202601

Plan Date: 05/23/25

Scale: 1" = 30'

Project:

**PROPOSED TRACTOR SUPPLY**

0 HILLSIDE AVENUE

WATERTOWN, CONNECTICUT

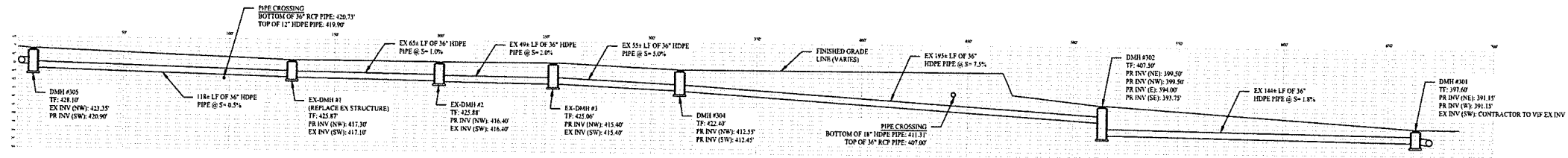
M/B/L: 124/180/1A



- KEYNOTES**
- INSTALL TYPE "C" PRECAST CATCH BASIN WITH 4-FOOT SUMP AND HOODED OUTLET (SEE DETAIL 1.2, 4 & 7/SHEET 3.03)
  - INSTALL TYPE "CL" PRECAST CATCH BASIN WITH 4-FOOT SUMP AND HOODED OUTLET (SEE DETAIL 4, 6 & 7/SHEET 3.03)
  - INSTALL 6" WIDE PRECAST DRAINAGE MANHOLE (SEE DETAIL 6 & 9/SHEET 3.04)
  - INSTALL 6" WIDE PRECAST DRAINAGE MANHOLE (SEE DETAIL 1 & 9/SHEET 3.04)
  - INSTALL 18" PLASTIC DRAINAGE MANHOLE (SEE DETAIL 3/SHEET 3.04)
  - INSTALL OUTLET CONTROL STRUCTURE (SEE DETAIL 11/SHEET 3.03)
  - INSTALL DOWNSPOUT CONNECTION (SEE DETAIL 5/SHEET 3.03)
  - INSTALL FLARED END SECTION (SEE DETAIL 10/SHEET 3.03)
  - INSTALL RIPRAP SPLASH PAD W/ FLARED END SECTION (SEE DETAIL 9 & 10/SHEET 3.03)
  - INSTALL 4" MIN. WIDE STONE CURTAIN DRAIN TO BE INSTALLED AT TOP OF RETAINING WALL. CURTAIN DRAIN TO HAVE 12" PERFORATED PVC PIPE FOR CONVEYANCE TO STORMWATER SYSTEM (SEE DETAIL 5/SHEET 3.03)
  - INSTALL 4" PVC PERFORATED PIPE FOUNDATION DRAIN (SEE DETAIL 3/SHEET 3.03)
  - INSTALL 12-FOOT WIDE RIPRAP SPILLWAY
  - INSTALL RETAINING WALL (SEE DETAIL 1/SHEET 3.03) (REFER TO GENERAL NOTE #9)
  - PAVEMENT SAWCUT (SEE DETAIL 8/SHEET 3.03)
  - STORMWATER TRENCH (SEE DETAIL 1/SHEET 3.03)
  - 2:1 SLOPE MAXIMUM (TYPICAL)
  - 2:1 SLOPE MAXIMUM (TYPICAL)
  - INSTALL WATER QUALITY UNIT (SEE DETAIL 9/SHEET 3.02)
  - INSTALL WATER QUALITY UNIT (SEE DETAIL 10/SHEET 3.02)

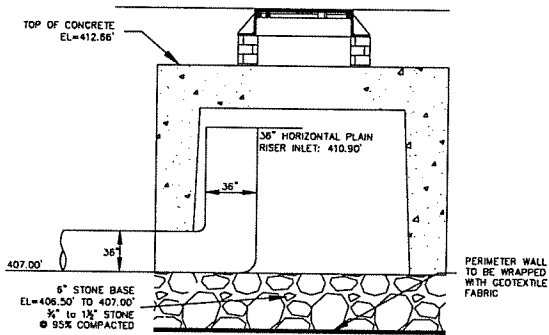
Sheet Title: **GRADING & DRAINAGE PLAN**

Sheet #: **2.21**



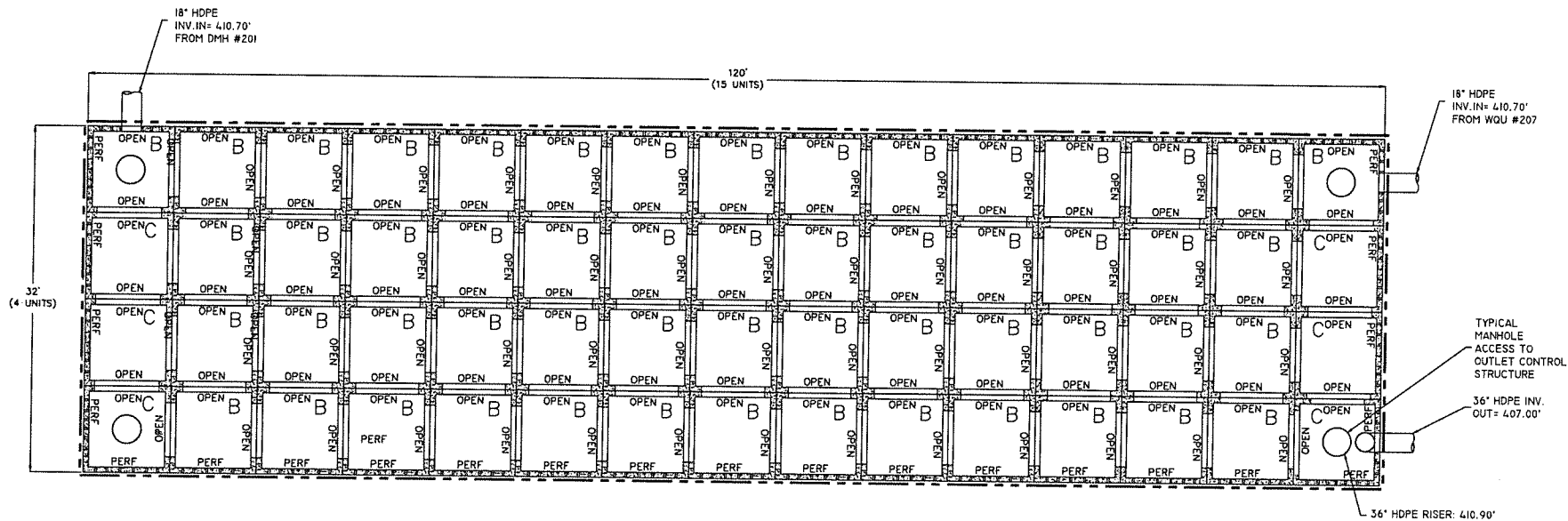
36" STORM PIPE SYSTEM PROFILE

V SCALE: 1" = 25' / H SCALE: 1" = 25'



UG-1 STORMWATER SYSTEM RISER DETAIL

SCALE: NTS



UG-1 STORMWATER SYSTEM DETAIL (RETAIN-IT 5' CONCRETE CHAMBERS OR APPROVED EQUAL)

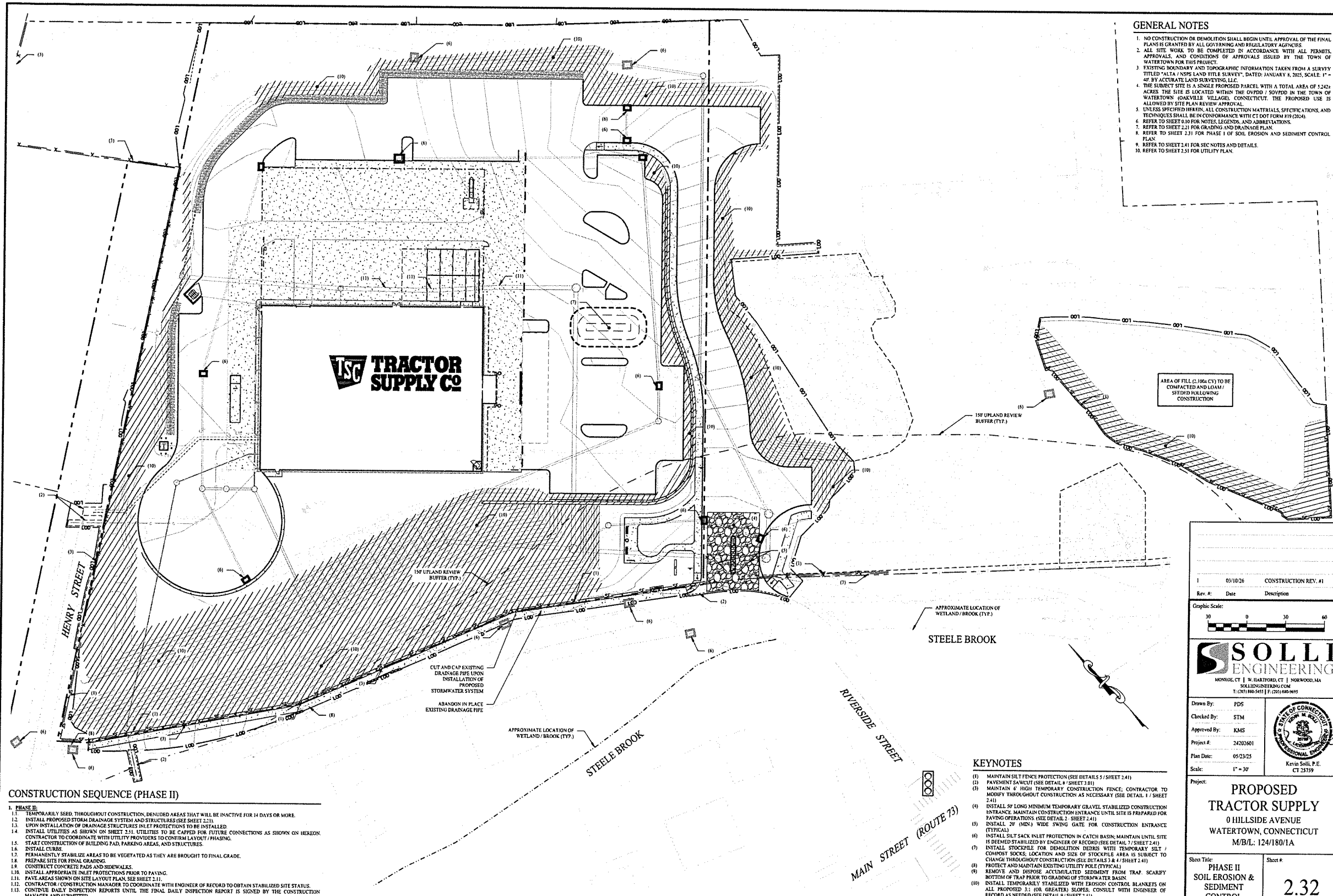
SCALE: NTS

03/10/26 CONSTRUCTION REV. #1	
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<small>SHAROL, CT   W. HARTFORD, CT   NORWOOD, MA SOLLINGENGINEERING.COM T: (203) 460-5451   F: (203) 460-8655</small>	
Drawn By: ADH	
Checked By: STM	
Approved By: KMS	
Project #: 24202601	
Plan Date: 05/23/25	
Scale: 1" = 10'	
Project: PROPOSED TRACTOR SUPPLY 0 HILLSIDE AVENUE WATERTOWN, CONNECTICUT M/B/L: 124/180/1A	
Sheet Title: STORMWATER MANAGEMENT DETAILS	Sheet #: 2.22



**GENERAL NOTES**

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4. THE SUBJECT SITE IS A SINGLE PROPOSED PARCEL WITH A TOTAL AREA OF 5.242 ACRES. THE SITE IS LOCATED WITHIN THE 00P00 / 50P00 IN THE TOWN OF WATERTOWN, CONNECTICUT. THE PROPOSED USE IS ALLOWED BY SITE PLAN REVIEW APPROVAL.
5. UNLESS SPECIFIED OTHERWISE, ALL CONSTRUCTION MATERIALS, SPECIFICATIONS, AND TECHNIQUES SHALL BE IN CONFORMANCE WITH CT DOT FORM #19 (2024).
6. REFER TO SHEET 1.10 FOR NOTES, LEGENDS, AND ABBREVIATIONS.
7. REFER TO SHEET 2.11 FOR GRADING AND DRAINAGE PLAN.
8. REFER TO SHEET 2.31 FOR PHASE I OF SOIL EROSION AND SEDIMENT CONTROL PLAN.
9. REFER TO SHEET 2.41 FOR SEE NOTES AND DETAILS.
10. REFER TO SHEET 2.51 FOR UTILITY PLAN.



Rev. #	Date	Description
1	05/10/26	CONSTRUCTION REV. #1

Graphic Scale: 0 30 60

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Checked By:	STM
Approved By:	KMS
Project #:	24202601
Plan Date:	05/23/25
Scale:	1" = 30'

Project: **PROPOSED TRACTOR SUPPLY**  
 0 HILLSIDE AVENUE  
 WATERTOWN, CONNECTICUT  
 M/B/L: 124/180/1A

Sheet Title: **PHASE II SOIL EROSION & SEDIMENT CONTROL PLAN**

Sheet #: **2.32**

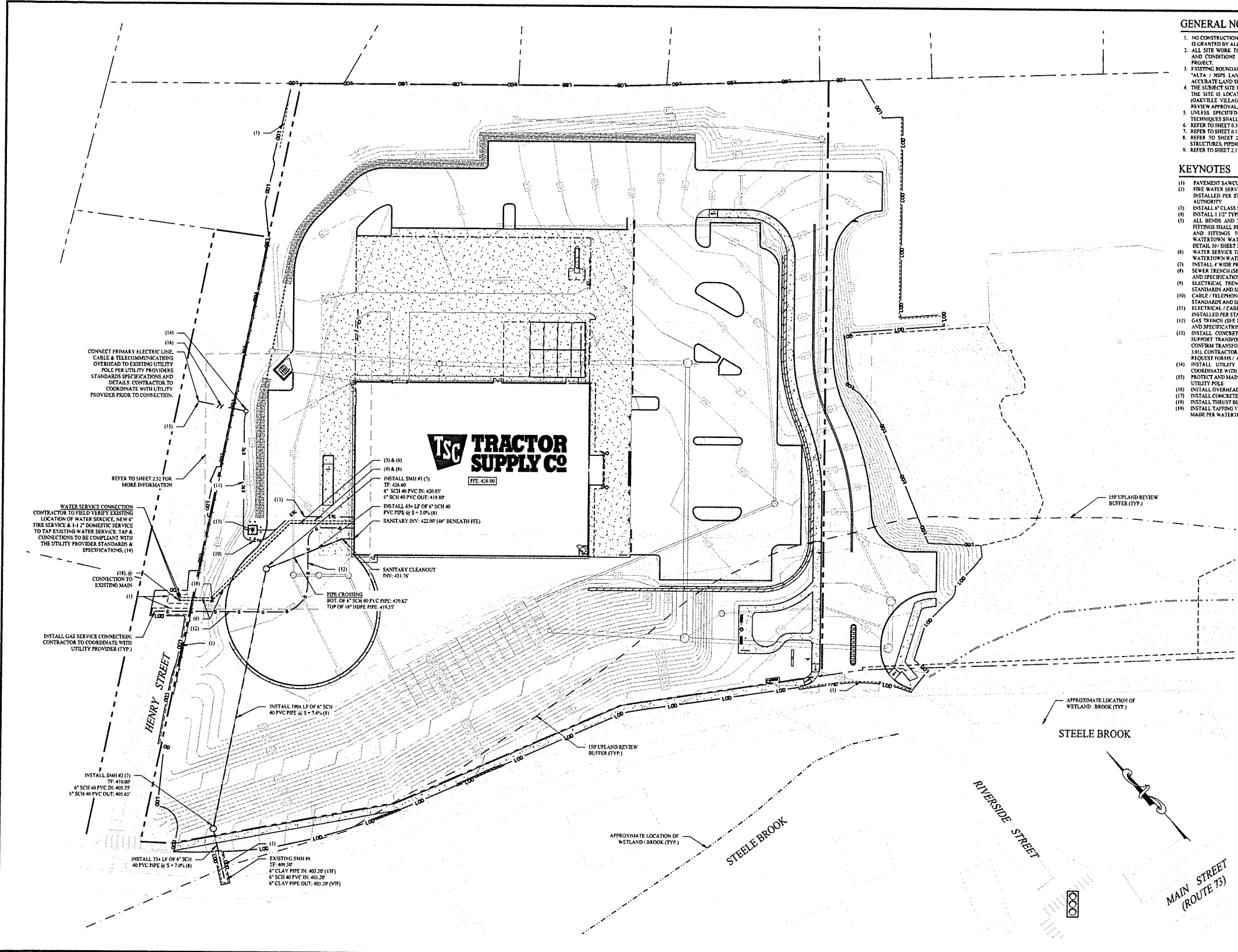
**CONSTRUCTION SEQUENCE (PHASE II)**

1. PHASE II:
  - 1.1 TEMPORARILY SEED THROUGHOUT CONSTRUCTION. DENuded AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE.
  - 1.2 INSTALL PROPOSED STORM DRAINAGE SYSTEM AND STRUCTURES (SEE SHEET 2.11).
  - 1.3 UPON INSTALLATION OF DRAINAGE STRUCTURES INLET PROTECTIONS TO BE INSTALLED.
  - 1.4 INSTALL UTILITIES AS SHOWN ON SHEET 2.51. UTILITIES TO BE CAPPED FOR FUTURE CONNECTIONS AS SHOWN ON HEREON. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS TO CONFIRM LAYOUT / PHASING.
  - 1.5 START CONSTRUCTION OF BUILDING PAD, PARKING AREAS, AND STRUCTURES.
  - 1.6 INSTALL CURBS.
  - 1.7 PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
  - 1.8 PREPARE SITE FOR FINAL GRADING.
  - 1.9 CONSTRUCT CONCRETE PADS AND SIDEWALKS.
  - 1.10 INSTALL APPROPRIATE INLET PROTECTIONS PRIOR TO PAVING.
  - 1.11 PAVE AREAS SHOWN ON SITE LAYOUT PLAN, SEE SHEET 2.11.
  - 1.12 CONTRACTOR / CONSTRUCTION MANAGER TO COORDINATE WITH ENGINEER OF RECORD TO OBTAIN STABILIZED SITE STATUS.
  - 1.13 CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION REPORT IS SIGNED BY THE CONSTRUCTION MANAGER AND SUBMITTED.

**KEYNOTES**

- (1) MAINTAIN SILT FENCE PROTECTION (SEE DETAILS 5 / SHEET 2.41)
- (2) PAVEMENT SAWCUT (SEE DETAIL 4 / SHEET 2.01)
- (3) MAINTAIN 6' HIGH TEMPORARY CONSTRUCTION FENCE, CONTRACTOR TO MODIFY THROUGHOUT CONSTRUCTION AS NECESSARY (SEE DETAIL 1 / SHEET 2.41)
- (4) INSTALL 50' LONG MINIMUM TEMPORARY GRAVEL STABILIZED CONSTRUCTION ENTRANCE. MAINTAIN CONSTRUCTION ENTRANCE UNTIL SITE IS PREPARED FOR PAVING OPERATIONS (SEE DETAIL 2 / SHEET 2.41)
- (5) INSTALL 20' (MIN.) WIDE SWING GATE FOR CONSTRUCTION ENTRANCE (TYPICAL)
- (6) INSTALL SILT SACK INLET PROTECTION IN CATCH BASIN; MAINTAIN UNTIL SITE IS DEEMED STABILIZED BY ENGINEER OF RECORD (SEE DETAIL 7 / SHEET 2.41)
- (7) INSTALL STOCKPILE FOR DEMOLITION DEBRIS WITH TEMPORARY SILT / COMPOST SOCKS, LOCATION AND SIZE OF STOCKPILE AREA IS SUBJECT TO CHANGE THROUGHOUT CONSTRUCTION (SEE DETAILS 3 & 4 / SHEET 2.41)
- (8) PROTECT AND MAINTAIN EXISTING UTILITY POLE (TYPICAL)
- (9) REMOVE AND DISPOSE ACCUMULATED SEDIMENT FROM TRAP. SCARIFY BOTTOM OF TRAP PRIOR TO GRADING OF STORMWATER BASIN.
- (10) INSTALL TEMPORARILY STABILIZED WITH EROSION CONTROL BLANKETS ON ALL PROPOSED 3:1 (OR GREATER) SLOPES. CONSULT WITH ENGINEER OF RECORD AS NEEDED (SEE DETAIL 9 / SHEET 2.41)
- (11) PROTECT AND MAINTAIN EXISTING 30" RCP PIPE (TYPICAL)





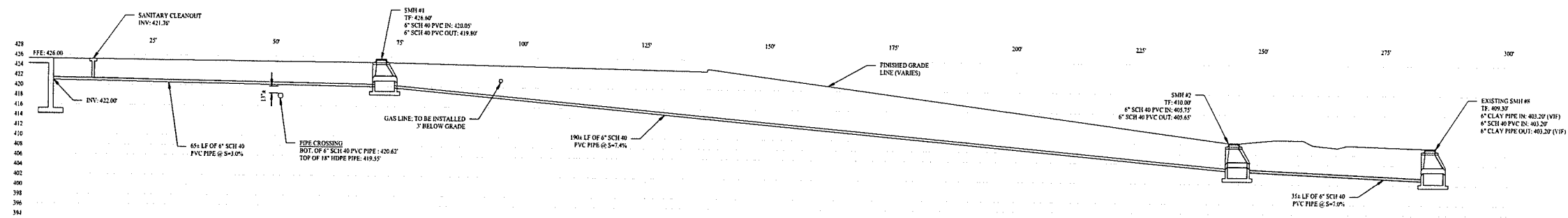
**GENERAL NOTES**

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3. EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY TITLED "ALTA / NPS LAND TITLE SURVEY", DATED JANUARY 8, 2021, SCALE: 1" = 40', BY ACCURATE LAND SURVEYING, LLC.
4. THE SUBJECT SITE IS A SINGLE PROPOSED PARCEL WITH A TOTAL AREA OF 3.24± ACRES. THE SITE IS LOCATED WITHIN THE OYDOR / KOYDOR IN THE TOWN OF WATERTOWN (OAKVILLE VILLAGE), CONNECTICUT. THE PROPOSED USE IS ALLOWED BY SITE PLAN REVIEW APPROVAL.
5. UNLESS SPECIFIED HEREIN, ALL CONSTRUCTION MATERIALS, SPECIFICATIONS, AND TECHNIQUES SHALL BE IN CONFORMANCE WITH CT DOT FORM 819 (2024).
6. REFER TO SHEET 2.0 FOR NOTES, LEGENDS, AND ABBREVIATIONS.
7. REFER TO SHEET 0.2 FOR GEOTECHNICAL BORING LOG INFORMATION.
8. REFER TO SHEET 2.21 FOR INFORMATION REGARDING SITE GRADING AND DRAINAGE STRUCTURES, PIPING, AND TRENCHING.
9. REFER TO SHEET 2.31 FOR DEMOLITION AND REMOVAL OF EXISTING UTILITIES.

**KEYNOTES**

- (1) PAVEMENT SAWCUT (SEE DETAIL 4 / SHEET 3.01)
- (2) FIRE WATER SERVICE CONNECTION - DOMESTIC SERVICE CONNECTION; SERVICE TO BE INSTALLED PER STANDARDS AND SPECIFICATIONS OF WATERTOWN WATER & SEWER AUTHORITY
- (3) INSTALL 8" CLASS 52 CEMENT-LINED DI FIRE SERVICE (TYPICAL)
- (4) INSTALL 1 1/2" TPE & COPPER DOWN WATER SERVICE (TYPICAL)
- (5) ALL BENDS AND TEES TO BE INSTALLED WITH THRUST BLOCK SUPPORTS AND ALL FITTINGS SHALL BE 40 RESTRAINT DEVICE (E.G. ERAA MEGALUG). ALL THRUST BLOCKS AND FITTINGS TO BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH WATERTOWN WATER & SEWER AUTHORITY STANDARDS AND SPECIFICATIONS. (SEE DETAIL 10 / SHEET 3.04)
- (6) WATER SERVICE TRENCH (SEE DETAIL 11 / SHEET 3.04); SERVICE TO BE INSTALLED PER WATERTOWN WATER & SEWER AUTHORITY STANDARDS AND SPECIFICATIONS
- (7) INSTALL 4" WIDE PRECAST SANITARY MANHOLE (SEE DETAIL 1 & 2 / SHEET 3.04)
- (8) SEWER TRENCH (SEE DETAIL 3 / SHEET 3.04); SERVICE TO BE INSTALLED PER STANDARDS AND SPECIFICATIONS OF WATERTOWN WATER & SEWER AUTHORITY
- (9) ELECTRICAL TRENCH (SEE DETAIL 4 / SHEET 3.04); SERVICE TO BE INSTALLED PER STANDARDS AND SPECIFICATIONS OF UTILITY PROVIDER
- (10) CABLE / TELEPHONE TRENCH (SEE DETAIL 4 / SHEET 3.04); SERVICE TO BE INSTALLED PER STANDARDS AND SPECIFICATIONS OF UTILITY PROVIDER
- (11) ELECTRICAL / CABLE / TELEVISION TRENCH (SEE DETAIL 4 / SHEET 3.04); SERVICE TO BE INSTALLED PER STANDARDS AND SPECIFICATIONS OF UTILITY PROVIDER
- (12) GAS TRENCH (SEE DETAIL 4 / SHEET 3.04); SERVICE TO BE INSTALLED PER STANDARDS AND SPECIFICATIONS OF UTILITY PROVIDER
- (13) INSTALL CONCRETE TRANSFORMER PAD & ASSOCIATED CONCRETE BOLLARDS TO SUPPORT TRANSFORMER; CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER TO CONFIRM TRANSFORMER SIZE, LOCATION, AND MATERIALS (SEE DETAILS 3 & 6 / SHEET 3.01); CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER TO SUBMIT ANY SERVICE REQUEST FORMS / APPLICATIONS FOR TRANSFORMER ACQUISITION
- (14) INSTALL UTILITY POLE; INSTALL GUY WIRE AS NECESSARY; CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER (TYPICAL)
- (15) PROTECT AND MAINTAIN EXISTING UTILITY POLE; PULL OVERHEAD LINES TO PROPOSED UTILITY POLE
- (16) INSTALL OVERHEAD ELECTRICAL / TELEPHONE / CABLE UTILITY LINES (TYPICAL)
- (17) INSTALL CONCRETE BOLLARDS (SEE DETAIL 4 / SHEET 3.01)
- (18) INSTALL THRUST BLOCK SUPPORT (SEE DETAIL 10 / SHEET 3.04)
- (19) INSTALL TAPPING VALVE AND SLEEVE (SEE DETAIL 11 / SHEET 3.04); CONNECTION TO BE MADE PER WATERTOWN WATER & SEWER AUTHORITY STANDARDS AND SPECIFICATIONS

1	03/10/26	CONSTRUCTION REV. #1
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Drawn By:	FDS	
Checked By:	CJB	
Approved By:	KMS	
Project #:	24202601	
Plan Date:	05/23/25	
Scale:	1" = 30'	Kevin Solli, P.E. CT 25759
<b>PROPOSED TRACTOR SUPPLY</b> 0 HILLSIDE AVENUE WATERTOWN, CONNECTICUT M/B/L: 124/180/1A		
Sheet Title:	SITE UTILITY PLAN	
Sheet #:	2.51	

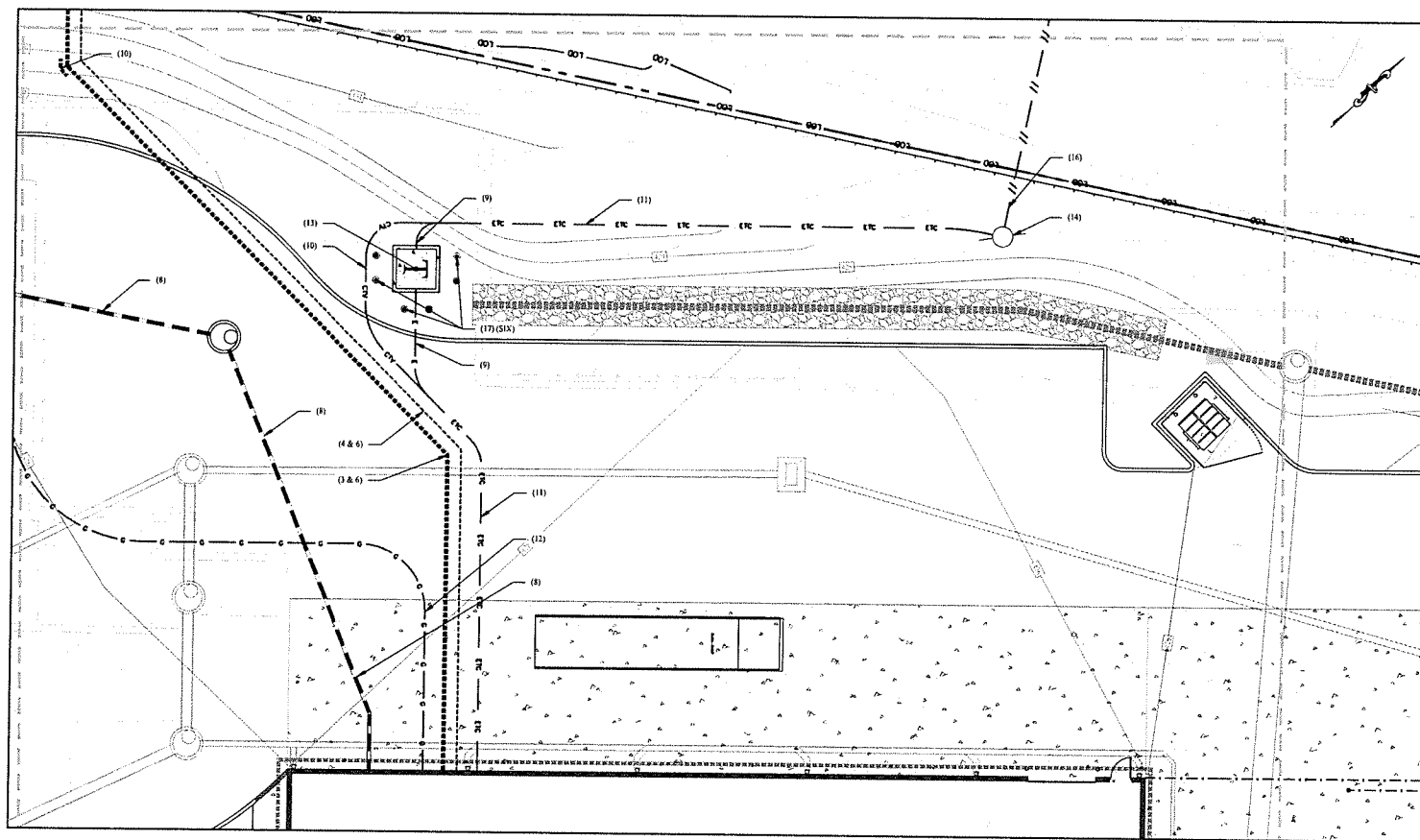


SANITARY DISPOSAL SYSTEM PROFILE

V SCALE: 1" = 10' / H SCALE: 1" = 10'

KEYNOTES

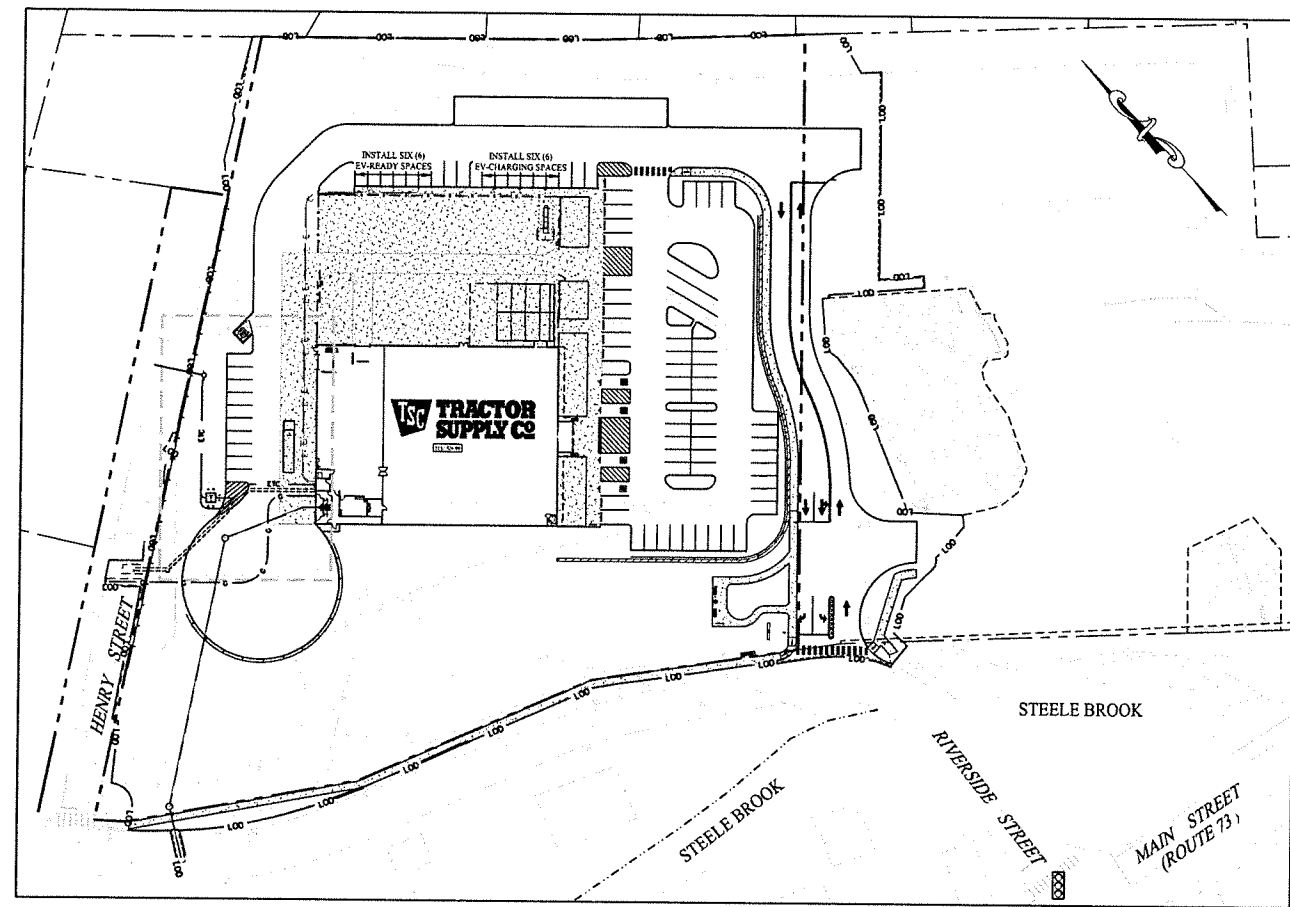
- (1) PAVEMENT SANICUT (SEE DETAIL 3 / SHEET 3.01)
- (2) FIRE WATER SERVICE CONNECTION / DOMESTIC SERVICE CONNECTION; SERVICE TO BE INSTALLED PER STANDARDS AND SPECIFICATIONS OF WATERTOWN WATER & SEWER AUTHORITY
- (3) INSTALL 6" CLASS 52 CEMENT-LINED DI FIRE SERVICE (TYPICAL)
- (4) INSTALL 1 1/2" TYPE K COPPER DOM WATER SERVICE (TYPICAL)
- (5) ALL HUBS AND TEES TO BE INSTALLED WITH THRUST BLOCK SUPPORTS AND ALL FITTINGS SHALL BE MJ RESTRAINT DEVICES (E.G. EBAN MEGALUG). ALL THRUST BLOCKS AND FITTINGS TO BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH WATERTOWN WATER & SEWER AUTHORITY STANDARDS AND SPECIFICATIONS (SEE DETAIL 10 / SHEET 3.04)
- (6) WATER SERVICE TRENCH (SEE DETAIL 11 / SHEET 3.04); SERVICE TO BE INSTALLED PER WATERTOWN WATER & SEWER AUTHORITY STANDARDS AND SPECIFICATIONS
- (7) INSTALL 4" WIDE PRECAST SANITARY MANHOLE (SEE DETAIL 1 & 2 / SHEET 3.04)
- (8) SEWER TRENCH (SEE DETAIL 3 / SHEET 3.04); SERVICE TO BE INSTALLED PER STANDARDS AND SPECIFICATIONS OF WATERTOWN WATER & SEWER AUTHORITY
- (9) ELECTRICAL TRENCH (SEE DETAIL 4 / SHEET 3.04); SERVICE TO BE INSTALLED PER STANDARDS AND SPECIFICATIONS OF UTILITY PROVIDER
- (10) CABLE / TELEPHONE TRENCH (SEE DETAIL 4 / SHEET 3.04); SERVICE TO BE INSTALLED PER STANDARDS AND SPECIFICATIONS OF UTILITY PROVIDER
- (11) ELECTRICAL / CABLE / TELEVISION TRENCH (SEE DETAIL 4 / SHEET 3.04); SERVICE TO BE INSTALLED PER STANDARDS AND SPECIFICATIONS OF UTILITY PROVIDER
- (12) GAS TRENCH (SEE DETAIL 4 / SHEET 3.04); SERVICE TO BE INSTALLED PER STANDARDS AND SPECIFICATIONS OF UTILITY PROVIDER
- (13) INSTALL CONCRETE TRANSFORMER PAD & ASSOCIATED CONCRETE BOLLARDS TO SUPPORT TRANSFORMER; CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER TO CONFIRM TRANSFORMER SIZE, LOCATION, AND MATERIALS (SEE DETAILS 3 & 4 / SHEET 3.01). CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER TO SUBMIT ANY SERVICE REQUEST FORMS / APPLICATIONS FOR TRANSFORMER ACQUISITION
- (14) INSTALL UTILITY POLE; INSTALL OUY WIRE AS NECESSARY; CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER (TYPICAL)
- (15) PROTECT AND MAINTAIN EXISTING UTILITY POLE; PULL OVERHEAD LINES TO PROPOSED UTILITY POLE
- (16) INSTALL OVERHEAD ELECTRICAL / TELEPHONE / CABLE UTILITY LINES (TYPICAL)
- (17) INSTALL CONCRETE BOLLARDS (SEE DETAIL 4 / SHEET 3.01)
- (18) INSTALL THRUST BLOCK SUPPORT (SEE DETAIL 10 / SHEET 3.04)
- (19) INSTALL TAPPING VALVE AND SLEEVE (SEE DETAIL 11 / SHEET 3.04); CONNECTION TO BE MADE PER WATERTOWN WATER & SEWER AUTHORITY SPECIFICATIONS & STANDARDS



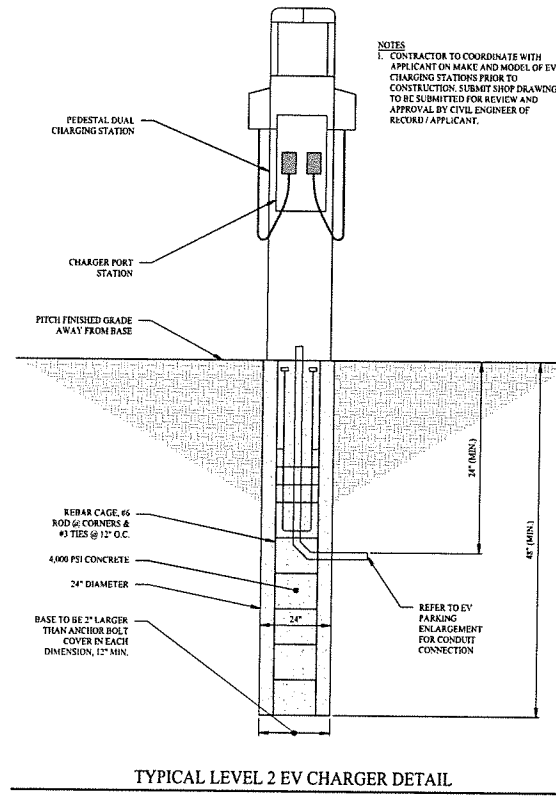
UTILITIES ENLARGEMENT

SCALE: 1" = 10'

03/10/26 CONSTRUCTION REV. #1	
Rev. #	Date Description
 MONROE, CT   W. HARTFORD, CT   NEWWOOD, MA SOLLIENGINEERING.COM T: (203) 860-5411   F: (203) 860-9693	
Drawn By:	PDS
Checked By:	CJB
Approved By:	KMS
Project #:	24202601
Plan Date:	05/23/25
Scale:	NTS
<b>PROPOSED</b> <b>TRACTOR SUPPLY</b> 0 HILLSIDE AVENUE WATERTOWN, CONNECTICUT M/B/L: 124/180/1A	
Sheet Title:	Sheet #:
UTILITY PROFILE & ENLARGEMENT	2.52



OVERALL SITE AREA MAP  
SCALE: 1" = 50'



TYPICAL LEVEL 2 EV CHARGER DETAIL  
SCALE: NTS

**GENERAL NOTES**

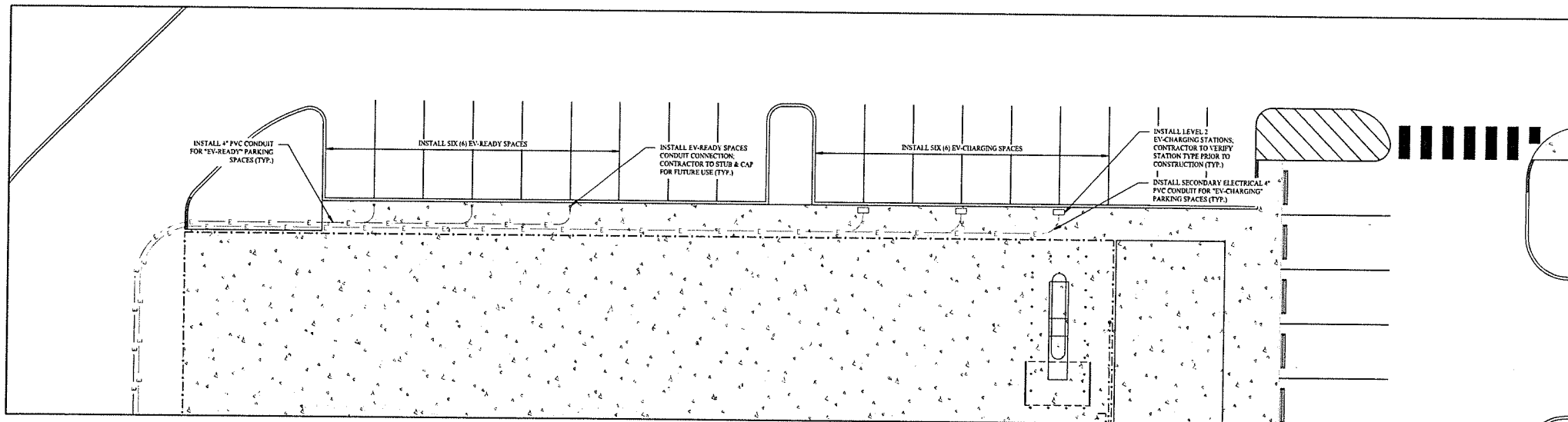
- NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS, AND CONDITIONS OF APPROVALS ISSUED BY THE TOWN OF WATERTOWN FOR THIS PROJECT.
- EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY TITLED "ALTA / NSP LAND TITLE SURVEY", DATED JANUARY 8, 2023, SCALE: 1" = 40', BY ACCURATE LAND SURVEYING, LLC.
- THE SUBJECT SITE IS A SINGLE PROPOSED PARCEL WITH A TOTAL AREA OF 3.204 ACRES. THE SITE IS LOCATED WITHIN THE OVPD / SOVPO IN THE TOWN OF WATERTOWN (OAKVILLE VILLAGE), CONNECTICUT. THE PROPOSED USE IS ALLOWED BY SITE PLAN REVIEW APPROVAL.
- UNLESS SPECIFIED HEREIN, ALL CONSTRUCTION MATERIALS, SPECIFICATIONS, AND TECHNIQUES SHALL BE IN CONFORMANCE WITH CT DOT FORM 819 (2024).
- REFER TO SHEET 0.10 FOR NOTES, LEGENDS, AND ABBREVIATIONS.

**LEGEND**

---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	ADJOINING LOT LINE
---	LIMIT OF EASEMENT
---	SECONDARY ELECT. CONDUIT FOR EV CHARGING SPACES
---	4" PVC CONDUIT FOR "EV READY" SPACES

**EV PARKING SUMMARY**

PROPOSED DEVELOPMENT	TOTAL PARKING SPACES	EV-CHARGING SPACES	EV-READY SPACES	EV/TOTAL PARKING SPACE RATIO
PROPOSED TRACTOR SUPPLY COMPANY	88	6	6	13.63%



EV PARKING ENLARGEMENT  
SCALE: 1" = 10'

1 03/10/26 CONSTRUCTION REV. #1  
Rev. # Date Description

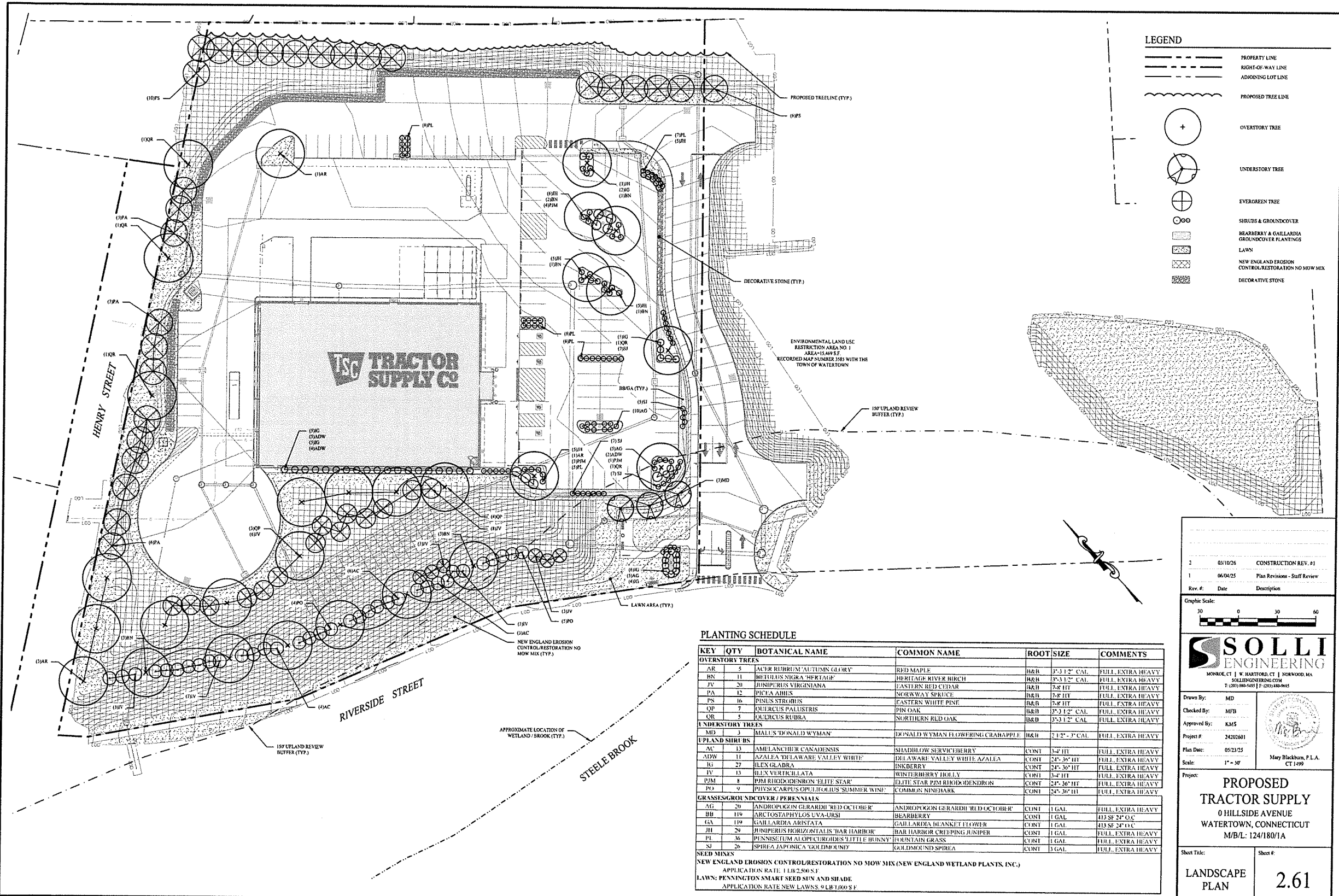
Graphic Scale:  
0 10 20

**SOLLI ENGINEERING**  
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SOLLIENGINEERING.COM  
T: (203) 466-5453 | F: (203) 466-9695

Drawn By: FDS  
Checked By: STM  
Approved By: KMS  
Project #: 24202601  
Plan Date: 05/23/25  
Scale: 1" = 10'  
Kevin Solli, P.E.  
CT 25759

Project:  
**PROPOSED TRACTOR SUPPLY**  
0 HILLSIDE AVENUE  
WATERTOWN, CONNECTICUT  
M/B/L: 124/180/1A

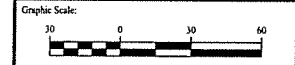
Sheet Title: EV CHARGING PLAN  
Sheet #: 2.53



**LEGEND**

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJOINING LOT LINE
- PROPOSED TREE LINE
- OVERSTORY TREE
- UNDERSTORY TREE
- EVERGREEN TREE
- SHRUBS & GROUNDCOVER
- BEARBERRY & GAILLARDIA GROUNDCOVER PLANTINGS
- LAWN
- NEW ENGLAND EROSION CONTROL RESTORATION NO MOW MIX
- DECORATIVE STONE

1	05/10/26	CONSTRUCTION REV. #1
1	06/04/25	Plan Revisions - Staff Review
Rev. #	Date	Description



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 MONROE, CT | W. HARTFORD, CT | NORWOOD, MA  
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 T: (203) 486-5455 | F: (203) 486-9665

Drawn By: MD  
 Checked By: MFB  
 Approved By: KMS  
 Project #: 24202601  
 Plan Date: 05/23/25  
 Scale: 1" = 30'

Project:  
**PROPOSED TRACTOR SUPPLY**  
 0 HILLSIDE AVENUE  
 WATERTOWN, CONNECTICUT  
 M/B/L: 124/180/1A

Sheet Title: **LANDSCAPE PLAN**      Sheet #: **2.61**

**PLANTING SCHEDULE**

KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT SIZE	COMMENTS
<b>OVERSTORY TREES</b>					
AR	5	ACER RUBRUM 'AUTUMN GLORY'	RED MAPLE	B&B 3"-3 1/2" CAL.	FULL EXTRA HEAVY
BN	11	BETULUS NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	B&B 3"-3 1/2" CAL.	FULL EXTRA HEAVY
JV	20	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	B&B 7-8 HT	FULL EXTRA HEAVY
PA	12	PICEA ABIES	NORWAY SPRUCE	B&B 7-8 HT	FULL EXTRA HEAVY
PS	16	PINUS STROBUS	EASTERN WHITE PINE	B&B 7-8 HT	FULL EXTRA HEAVY
QP	7	QUERCUS PALUSTRIS	PIN OAK	B&B 3"-3 1/2" CAL.	FULL EXTRA HEAVY
OR	5	QUERCUS RUBRA	NORTHERN RED OAK	B&B 3"-3 1/2" CAL.	FULL EXTRA HEAVY
<b>UNDERSTORY TREES</b>					
MD	3	MAIUS 'DONALD WYMAN'	DONALD WYMAN FLOWERING CRANAPPL.	B&B 2 1/2" - 3" CAL.	FULL EXTRA HEAVY
<b>UPLAND SHRUBS</b>					
AC	13	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	CONT 3-4 HT	FULL EXTRA HEAVY
ADW	11	AZALEA 'DELAWARE VALLEY WHITE'	DELAWARE VALLEY WHITE AZALEA	CONT 24"-36" HT	FULL EXTRA HEAVY
IG	27	ILEX GLABRA	INKBERRY	CONT 24"-36" HT	FULL EXTRA HEAVY
IV	13	ILEX VERIFOLIATA	WINTERBERRY HOLLY	CONT 3-4 HT	FULL EXTRA HEAVY
PJM	8	PJM RHODODENDRON 'LITTLE STAR'	LITTLE STAR PJM RHODODENDRON	CONT 24"-36" HT	FULL EXTRA HEAVY
PO	9	PHYSCARPUS OPELOIDES 'SUMMER WINE'	COMMON NINEBARK	CONT 24"-36" HT	FULL EXTRA HEAVY
<b>GRASSES/GROUNDCOVER / PERENNIALS</b>					
AG	20	ANDROPOGON GERARDII 'RED OCTOBER'	ANDROPOGON GERARDII 'RED OCTOBER'	CONT 1 GAL	FULL EXTRA HEAVY
BB	119	ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	CONT 1 GAL	413 SF 24" O.C.
GA	119	GAILLARDIA ARISTATA	GAILLARDIA WINKET FLOWER	CONT 1 GAL	413 SF 24" O.C.
JH	29	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	CONT 1 GAL	FULL EXTRA HEAVY
PL	36	PENNESETUM ALOPURCHOIDES 'LITTLE HUNNY'	FOUNTAIN GRASS	CONT 1 GAL	FULL EXTRA HEAVY
SJ	26	SPIREA JAPONICA 'GOLDFOUND SPirea'	GOLDFOUND SPirea	CONT 3 GAL	FULL EXTRA HEAVY
<b>SEED MIXES</b>					
NEW ENGLAND EROSION CONTROL RESTORATION NO MOW MIX (NEW ENGLAND WETLAND PLANTS, INC.) APPLICATION RATE: 1 LB/2,500 S.F.					
LAWN: PENNINGTON SMART SEED SUN AND SHADE APPLICATION RATE NEW LAWNS: 9 LB/1,000 S.F.					



**LEGEND**

- PROPOSED FOOTCANDLES
- PROPOSED POLE MOUNTED FIXTURE
- PROPOSED WALL MOUNTED FIXTURE
- LINE OF 0.2 & 0.0 FOOTCANDLES

**LIGHTING NOTES**

1. ALL LIGHT FIXTURES TO BE MOUNTED AND INSTALLED PER MANUFACTURER SPECIFICATIONS
2. ALL WORK AND RELATED MATERIALS SHALL COMPLY WITH CITY, COUNTY, AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS

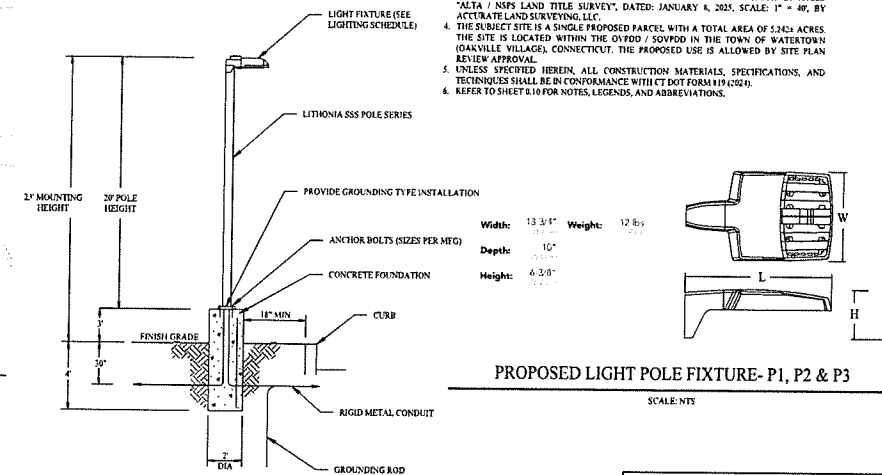
**FIXTURE SCHEDULE**

QTY	CALLOUT	SYMBOL	FIXTURE DESCRIPTION	MODEL	NOTES	LUMENS
11	W1	■	WALL MOUNTED FIXTURE	LITHONIA DSW1 SERIES, MODEL DSW1-LED-ISC-1800-5K-13M-MVOLT-D8-BXD, FULL CUTOFF	18W, 3KLED, MOUNTING HEIGHT AS SHOWN ON PLAN	3,867
3	W2	■	WALL MOUNTED FIXTURE	HILITE H1118 SERIES LED GODNECK UNIT, MODEL H-1118-0796-AHD-17972/L/LED/40-DB/CH-M, RED FINISH, FULL CUTOFF	21W, 4KLED, 2'-4" MOUNTING HEIGHT	N/A
3	P1	■	POLE MOUNTED FIXTURE	LITHONIA LIGHTING, RSX1 SERIES, MODEL RSX1-LED-P3-SK-R3-MVOLT-SPA	100W, 3KLED, 27' MOUNTING HEIGHT	14,197
3	P2	■	POLE MOUNTED FIXTURE	LITHONIA LIGHTING, RSX1 SERIES, MODEL RSX1-LED-P3-SK-R3-MVOLT-SPA-HS	100W, 3KLED, 27' MOUNTING HEIGHT WITH HOUSE SHIELD	14,023
3	P3	■	POLE MOUNTED FIXTURE	LITHONIA LIGHTING, RSX1 SERIES, MODEL RSX1-LED-P3-SK-R3-MVOLT-SPA-HS	100W, 3KLED, 27' MOUNTING HEIGHT WITH HOUSE SHIELD	14,206
9	N/A	N/A	POLE (P1-P3 DETAIL)	POLE MODEL SSS-20-4C-0M19	30' POLE HEIGHT, 7' FOUNDATION	N/A
8	P4*	■	POLE MOUNTED FIXTURE	AGL W LIGHTING, MODEL 49084-LED-000-VIP-GAP-T1	17' MOUNTING HEIGHT	N/A
8	N/A	N/A	POLE (P4 DETAIL)	POLE MODEL EMB1-SM-12-3.5-R-LR5-T1	17' POLE HEIGHT	N/A

\*FIXTURE HAS BEEN PROVIDED BY THE TOWN

**GENERAL NOTES**

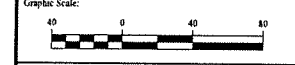
1. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES
2. ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS, AND CONDITIONS OF APPROVALS ISSUED BY THE TOWN OF WATERTOWN FOR THIS PROJECT
3. EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY TITLED "ALTA / ASSES LAND TITLE SURVEY", DATED JANUARY 8, 2025, SCALE: 1" = 40', BY ACCURATE LAND SURVEYING, LLC.
4. THE SUBJECT SITE IS A SINGLE PROPOSED PARCEL, WITH A TOTAL AREA OF 5.242 ACRES. THE SITE IS LOCATED WITHIN THE "OVOD" / "SOVED" IN THE TOWN OF WATERTOWN (OAKVILLE VILLAGE), CONNECTICUT. THE PROPOSED USE IS ALLOWED BY SITE PLAN REVIEW APPROVAL.
5. UNLESS SPECIFIED HEREIN, ALL CONSTRUCTION MATERIALS, SPECIFICATIONS, AND TECHNIQUES SHALL BE IN CONFORMANCE WITH CT DOT FORM 119 (2021).
6. REFER TO SHEET 2.10 FOR NOTES, LEGENDS, AND ABBREVIATIONS.



PROPOSED LIGHT POLE - P1, P2 & P3  
SCALE: NTS

PROPOSED LIGHT POLE FIXTURE - P1, P2 & P3  
SCALE: NTS

Rev. #	Date	Description
2	03/10/26	CONSTRUCTION REV. #1
1	06/04/25	Plan Revisions - Staff Review



**SOLLI ENGINEERING**  
MONROE, CT | W. HARTFORD, CT | NORWOOD, MA  
SCALE: 1/8" = 1'-0"  
T: (860) 889-5455 | F: (860) 889-9605

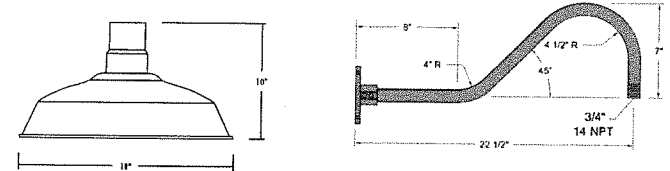
Drawn By:	MMH
Checked By:	MFB
Approved By:	KMS
Project #:	24202601
Plan Date:	05/23/25
Scale:	1" = 40'

Project:  
**PROPOSED TRACTOR SUPPLY**  
0 HILLSIDE AVENUE  
WATERTOWN, CONNECTICUT  
M/B/L: 124/180/1A

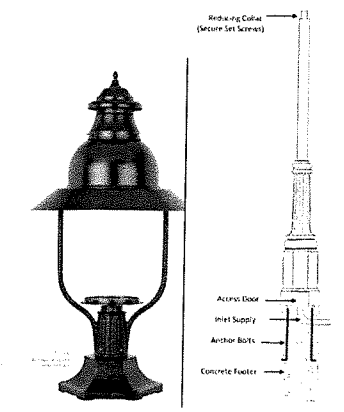
Sheet Title:	Sheet #:
<b>LIGHTING PLAN</b>	<b>2.71</b>

EPA (H=60): 0.57 ft (0.05 m)  
Length: 21.8" (55.4 cm) (SPA mount)  
Width: 13.3" (33.8 cm)  
Height: 3.0" (7.6 cm) Main Body  
7.2" (18.4 cm) Arm  
Weight (SPA mount): 22.0 lbs (10.0 kg)

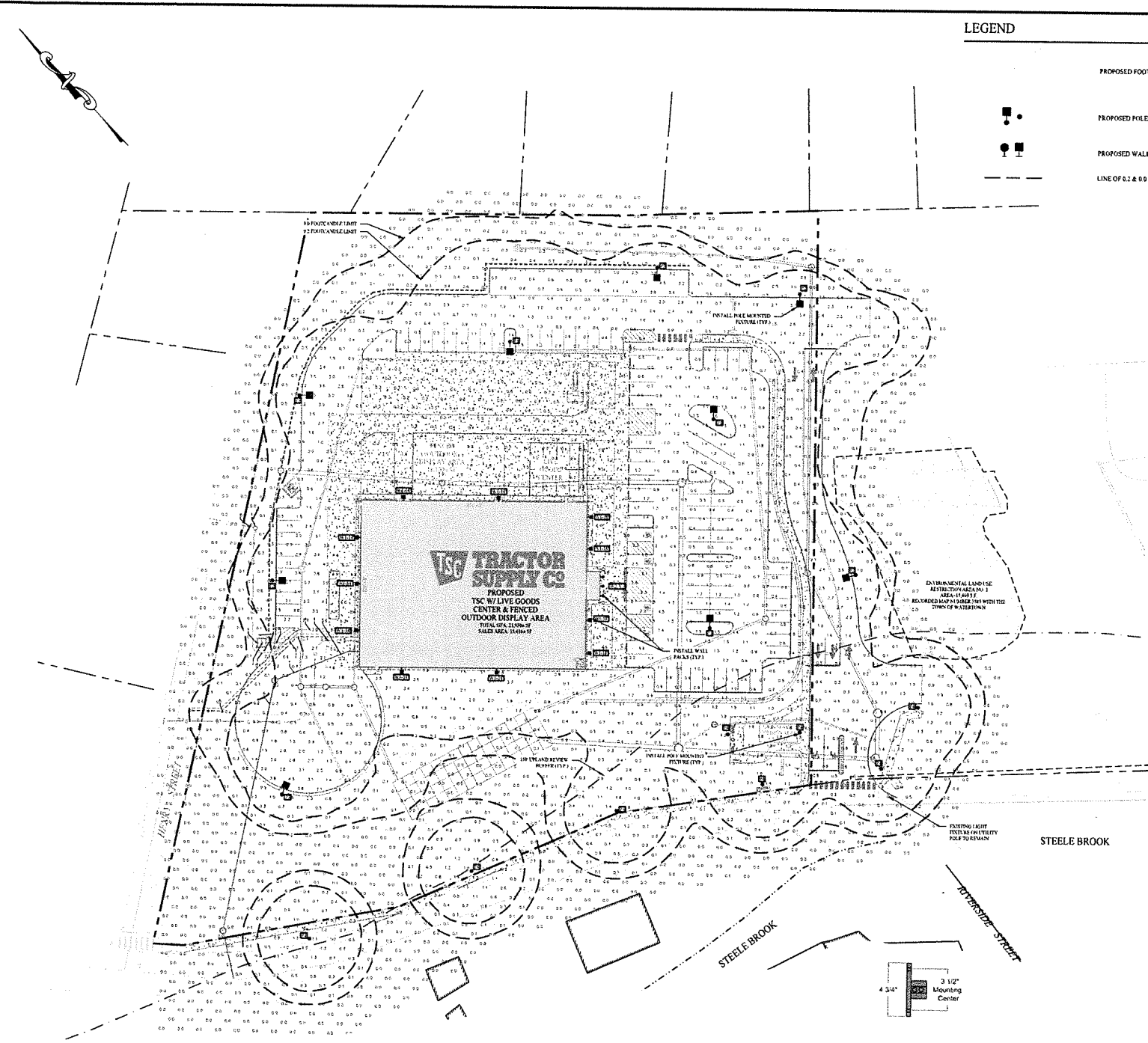
PROPOSED WALL MOUNTED LIGHT FIXTURE - W1  
LITHONIA LIGHTING DSW1 SERIES  
SCALE: NTS



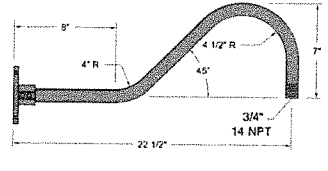
PROPOSED WALL MOUNTED LIGHT FIXTURE - W2  
HILITE WAREHOUSE SHIELD SERIES  
SCALE: NTS

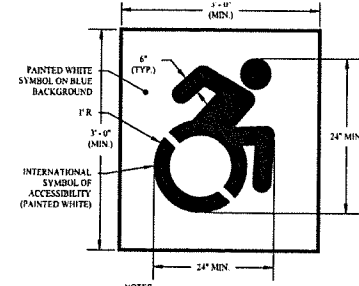


PROPOSED LIGHT POLE & FIXTURE - P4  
SCALE: NTS

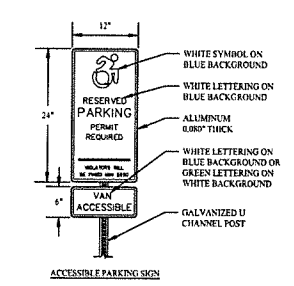


**TRACTOR SUPPLY CO.**  
PROPOSED TSC HWY LIVE GOODS CENTER & FENCED OUTDOOR DISPLAY AREA  
TOTAL AREA: 15,480 SF

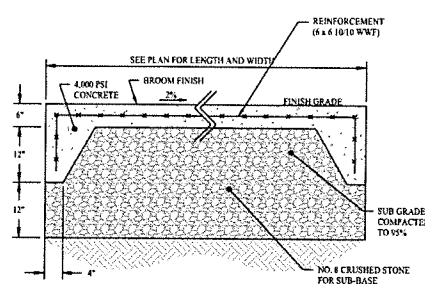




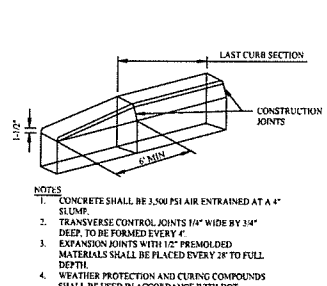
1 ACCESSIBLE PARKING SYMBOL  
SCALE: NTS  
NOTE: LOCATE AT 7' FROM EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING



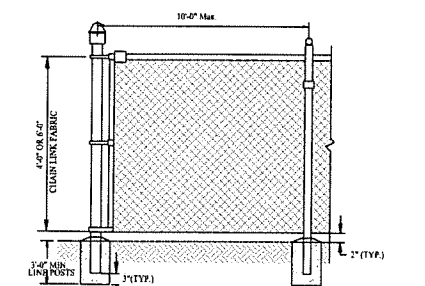
2 ACCESSIBLE SIGN DETAILS  
SCALE: NTS  
NOTE: SUPPORTS-SEE SIGN MOUNTING FOR ACCESSIBLE SIGN DETAIL



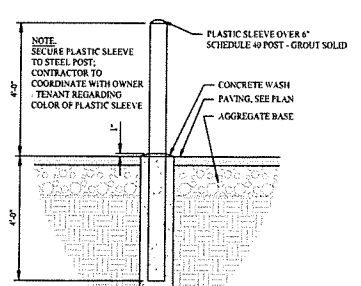
3 CONCRETE PAD / PAVEMENT DETAIL  
SCALE: NTS  
NOTE: ALL CONCRETE SUBBASES SHALL BE COMPACTED IN ACCORDANCE W/ AASHTO T99. AT A MINIMUM, 95% AT THE STANDARD PROCTOR (AASHTO T99) DENSITY SHOULD BE ACHIEVED IN THE FIELD.



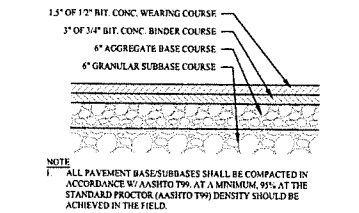
4 CURB TRANSITION DETAIL  
SCALE: NTS



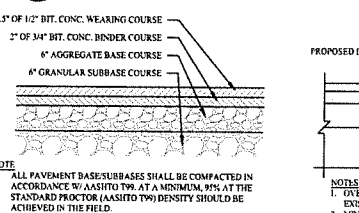
5 4' / 6' HIGH CHAIN LINK FENCE DETAIL  
SCALE: NTS



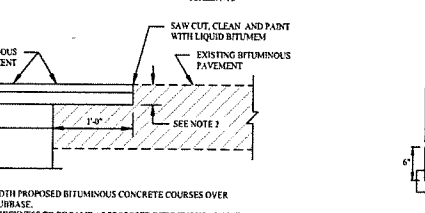
6 CONCRETE BOLLARD DETAIL  
SCALE: NTS



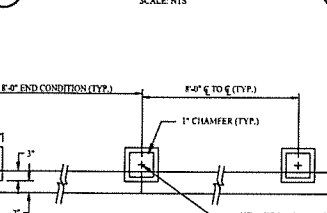
7 HEAVY DUTY BITUMINOUS CONCRETE PAVEMENT  
SCALE: NTS



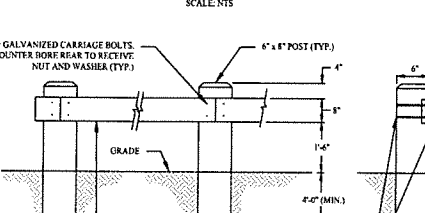
8 STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT  
SCALE: NTS



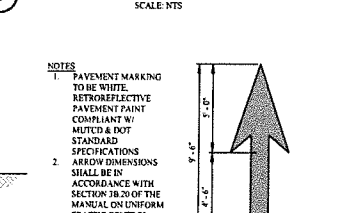
9 PAVEMENT MATCH TREATMENT (SAWCUT) DETAIL  
SCALE: NTS



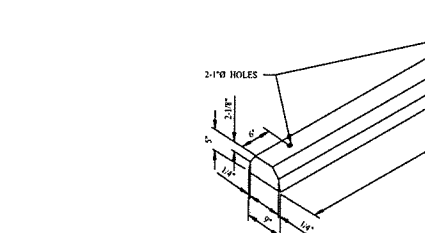
10 TIMBER GUIDE RAIL  
SCALE: NTS



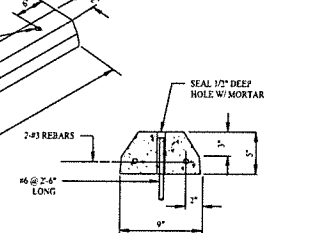
11 PAVEMENT ARROW DETAILS  
SCALE: NTS



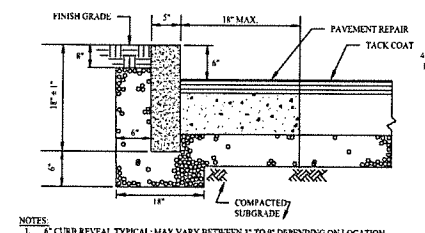
12 PAVEMENT TURNING ARROW DETAILS  
SCALE: NTS



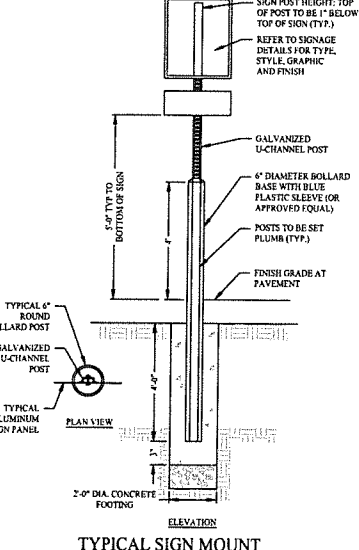
13 CONCRETE WHEEL STOP DETAIL  
SCALE: NTS



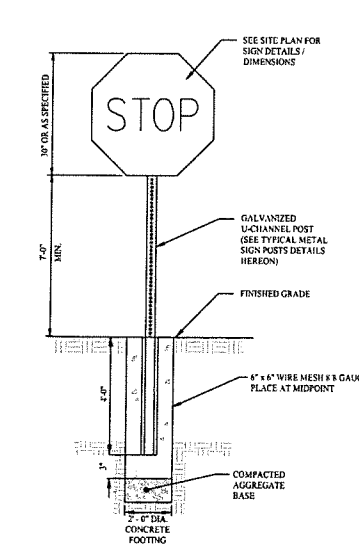
14 VERTICAL GRANITE CURB  
SCALE: NTS



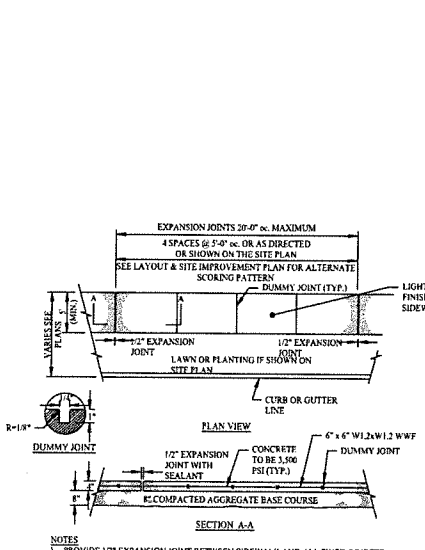
15 MOUNTABLE ISLAND DETAIL  
SCALE: NTS



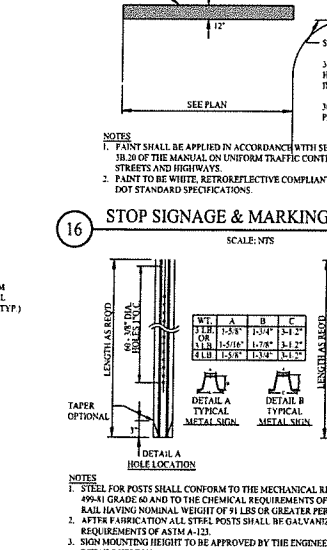
17 TYPICAL SIGN MOUNT WITH BOLLARD BASE  
SCALE: NTS



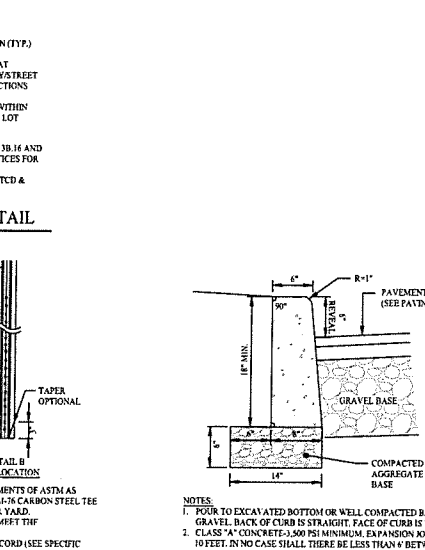
18 TYPICAL SIGN DETAIL  
SCALE: NTS



19 CONCRETE SIDEWALK DETAIL  
SCALE: NTS



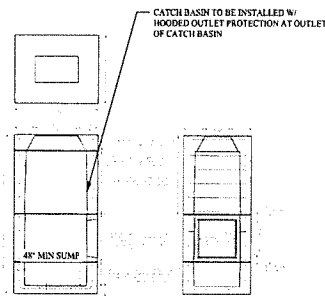
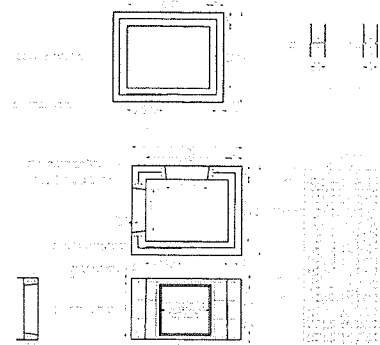
20 TYPICAL METAL SIGN POSTS  
SCALE: NTS



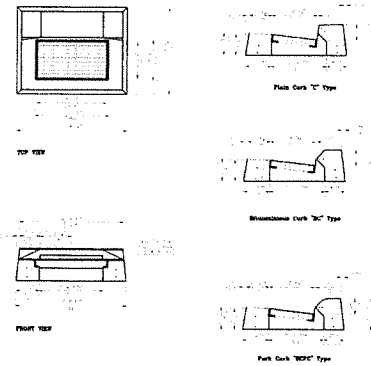
21 CONCRETE CURB DETAIL  
SCALE: NTS

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Rev. #:	Date
Description	
MONROE, CT   W. HARTFORD, CT   NORWOOD, MA SOLLIENGINEERING.COM T: (203) 466-5455   F: (203) 466-9495	
Drawn By:	FDS
Checked By:	STM
Approved By:	KMS
Project #:	24203601
Plan Date:	05/23/25
Scale:	NTS
Project:	<b>PROPOSED TRACTOR SUPPLY</b> 0 HILLSIDE AVENUE WATERTOWN, CONNECTICUT M/B/L: 124/180/1A
Sheet Title:	CONSTRUCTION DETAILS
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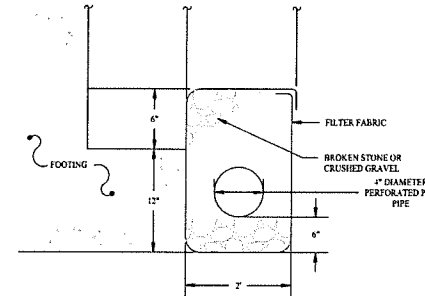
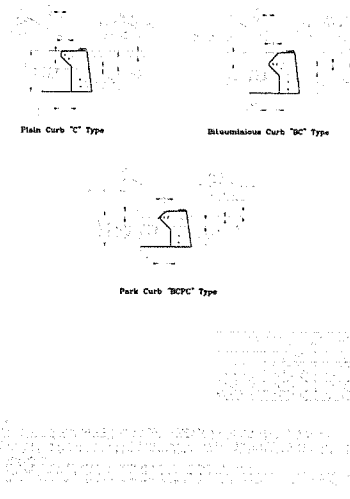




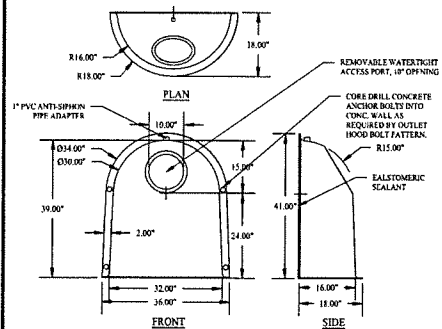
1 36"x48" STANDARD PRECAST CT DOT TYPE "C" CATCH BASIN  
SCALE: NTS  
DETAIL PROVIDED BY CONNECTICUT PRECAST CORPORATION



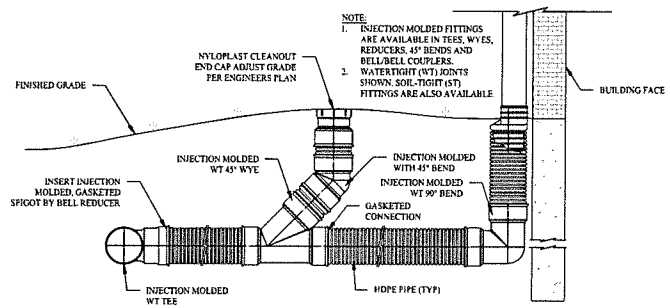
2 CTDOT STANDARD PRECAST CONCRETE CATCH BASIN TYPE "C" TOP  
SCALE: NTS  
DETAIL PROVIDED BY CONNECTICUT PRECAST CORPORATION



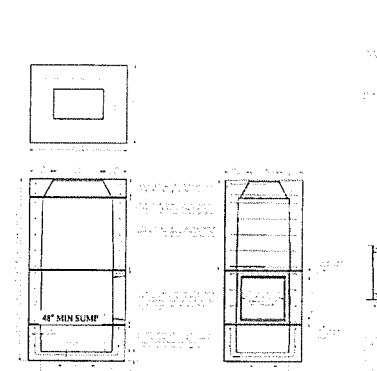
3 FOUNDATION DRAIN  
SCALE: NTS



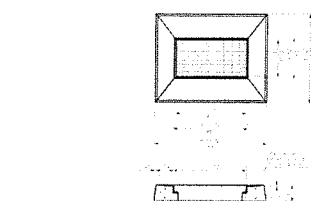
4 HOODED OUTLET  
SCALE: NTS



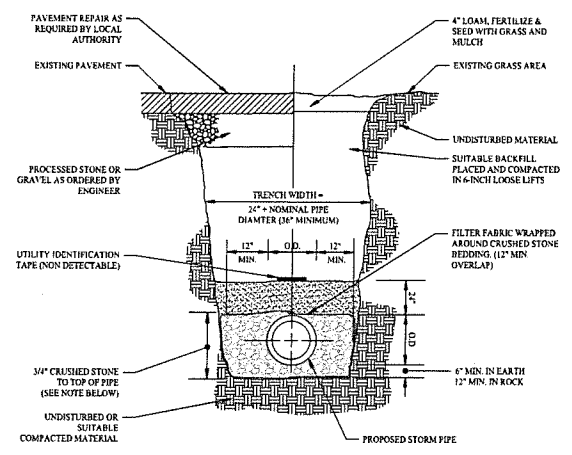
5 DOWNSPOUT CONNECTION DETAIL  
SCALE: NTS




6 36"x48" STANDARD PRECAST CT DOT TYPE "CL" CATCH BASIN  
SCALE: NTS  
DETAIL PROVIDED BY CONNECTICUT PRECAST CORPORATION

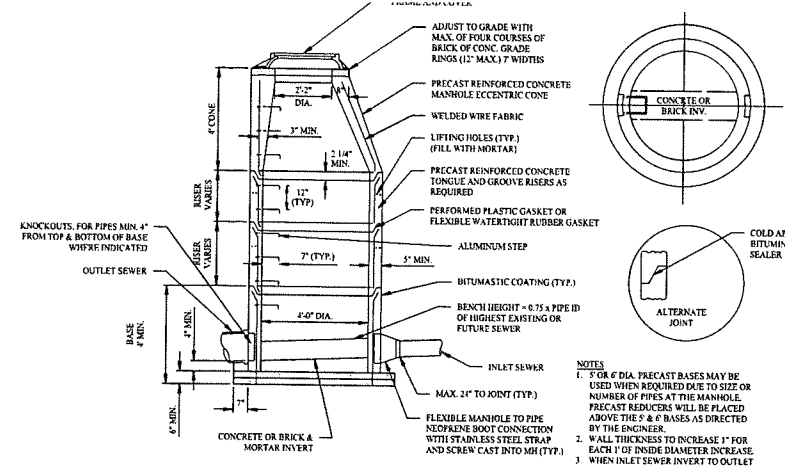


7 CTDOT STANDARD PRECAST CONCRETE CATCH BASIN TYPE "CL" TOP  
SCALE: NTS  
DETAIL PROVIDED BY CONNECTICUT PRECAST CORPORATION

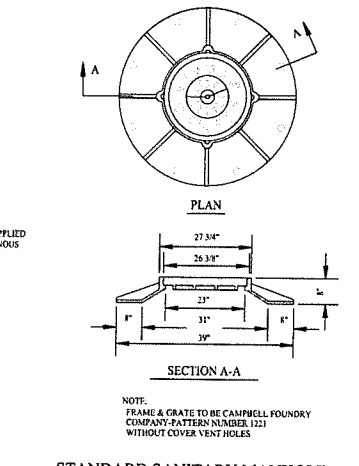


8 STORM TRENCH SECTION DETAIL  
SCALE: NTS

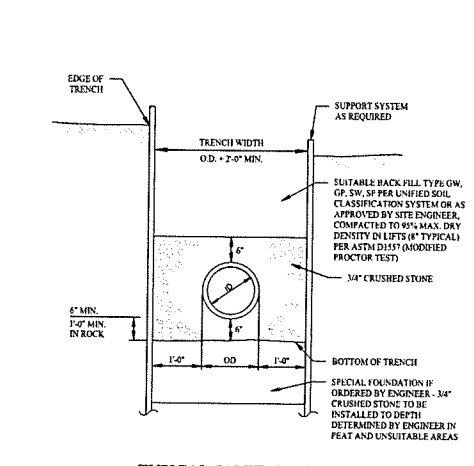
03/10/26 CONSTRUCTION REV. #1	
Rev. #:	Description
<b>SOLLI ENGINEERING</b>	
MUNROE, CT   W. HARTFORD, CT   NORWOOD, MA SOLLIDENGINEERING.COM T: 1203-866-9011   F: 1203-866-9891	
Drawn By:	FDS
Checked By:	STM
Approved By:	KMS
Project #:	24202601
Plan Date:	05/23/25
Scale:	NTS
 Kevin Solli, P.E. CT 25759	
<b>PROPOSED TRACTOR SUPPLY</b> 0 HILLSIDE AVENUE WATERTOWN, CONNECTICUT M/B/L: 124/180/1A	
Sheet Title:	CONSTRUCTION DETAILS
Sheet #:	3.03



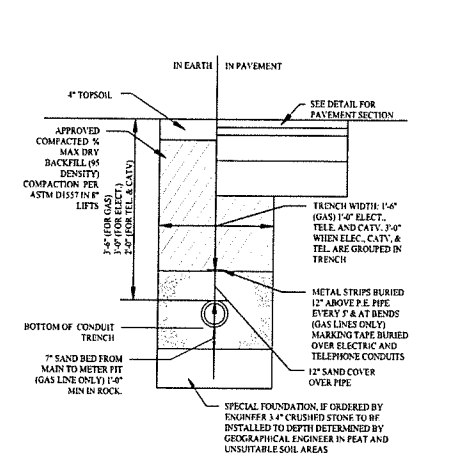
1 PRECAST SANITARY MANHOLE  
SCALE: NTS



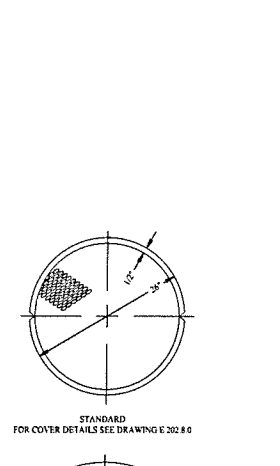
2 STANDARD SANITARY MANHOLE FRAME AND COVER  
SCALE: NTS



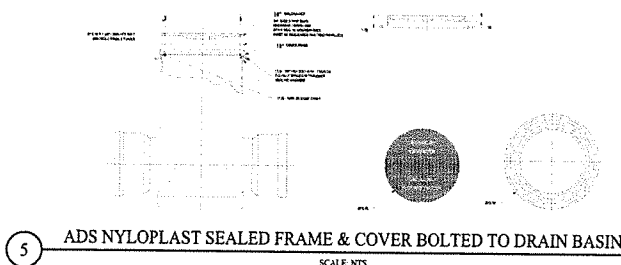
3 TYPICAL SANITARY SEWER TRENCH SECTION  
SCALE: NTS



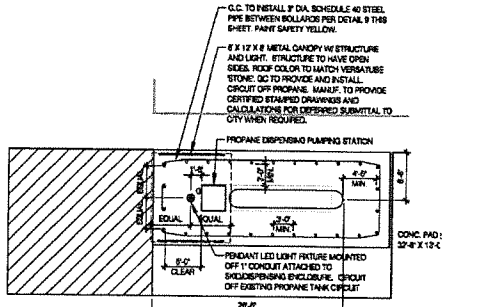
4 CABLE, ELECTRICAL, GAS, AND TELEPHONE TRENCH  
SCALE: NTS



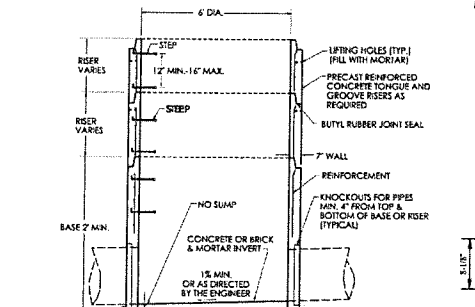
5 ADS NYLOPLAST SEALED FRAME & COVER BOLTED TO DRAIN BASIN  
SCALE: NTS



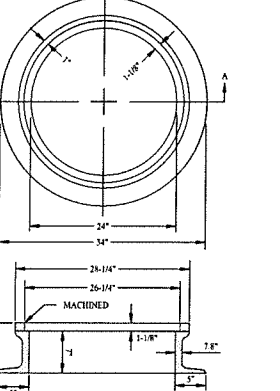
6 4-FOOT WIDE PRECAST DRAINAGE MANHOLE DETAIL  
SCALE: NTS



7 PROPANE PLAN DETAIL  
(REFER TO ARCHITECTURAL DETAILS FOR MORE INFORMATION)



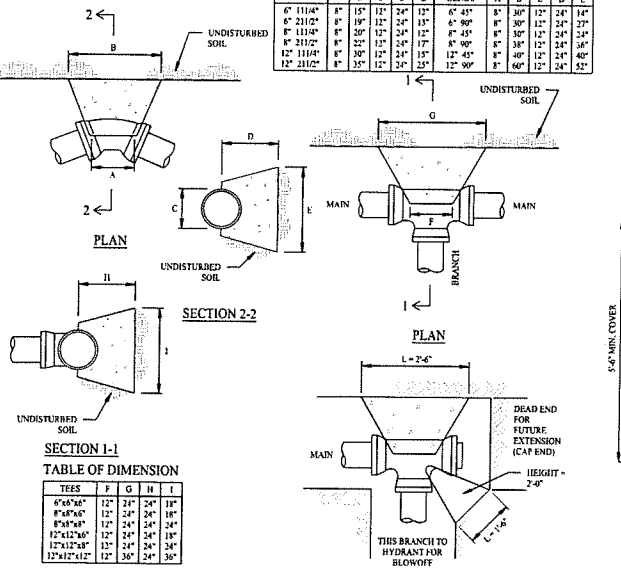
8 6-FOOT WIDE PRECAST DRAINAGE MANHOLE DETAIL  
SCALE: NTS



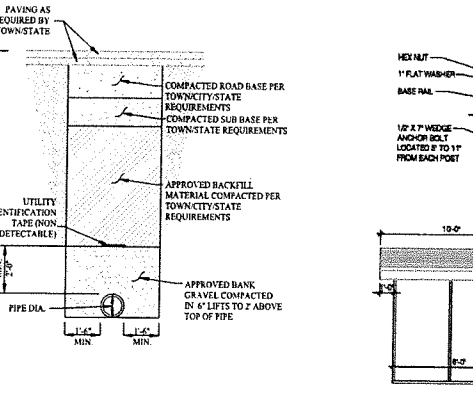
9 MANHOLE FRAME AND COVER  
SCALE: NTS

TABLE OF DIMENSION

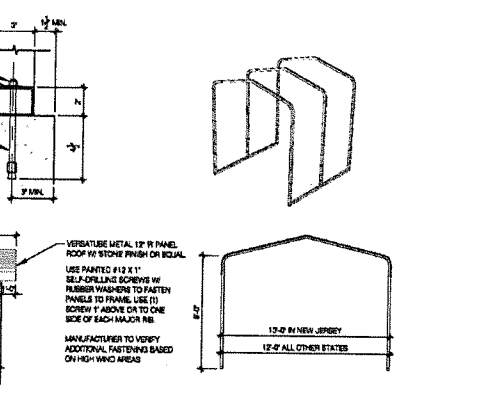
MANHOLE	A	B	C	D	E	MANHOLE	A	B	C	D	E
6\"/>											



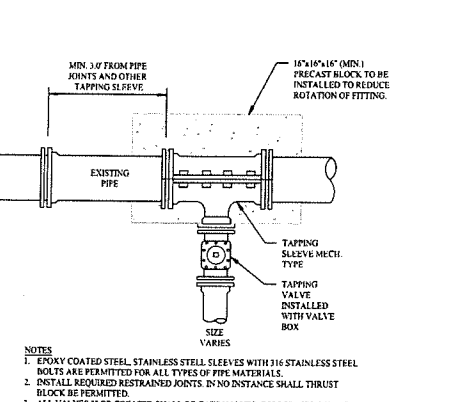
10 CONCRETE THRUST BLOCK  
SCALE: NTS



11 TYPICAL WATER SERVICE TRENCH  
SCALE: NTS



12 PROPANE CANOPY DETAIL  
(REFER TO ARCHITECTURAL DETAILS FOR MORE INFORMATION)



13 TAPPING VALVE & SLEEVE DETAIL  
SCALE: NTS

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Rev. # Date Description

**SOLLI ENGINEERING**  
MONROE, CT | W. HARTFORD, CT | NEW WOOD, MA  
SOLLIENGINEERING.COM  
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Drawn By: JDS  
Checked By: STM  
Approved By: KMS  
Project #: 24202601  
Plan Date: 05/23/25  
Scale: NTS

**PROPOSED TRACTOR SUPPLY**  
0 HILLSIDE AVENUE  
WATERTOWN, CONNECTICUT  
M/B/L: 124/180/1A

Sheet Title: CONSTRUCTION DETAILS  
Sheet #: 3.04